

## AGENDA FOR THE PLAN COMMISSION

Members noticed must notify the person who prepared agenda (see below) at least 24 hours before the meeting as to whether they will not be able to attend this meeting.

**Date and Time:** Tuesday, November 17, 2020 – **5:15 PM**

**Location:** Council Chambers, Municipal Building, 101 South Blvd., Baraboo, Wisconsin

**Member Notices:** Mayor Palm, P. Wedekind, R. Franzen, J. O'Neill, T. Kolb, D. Marshall, and M. Boeggner.

**Others Noticed:** T. Pinion, E. Geick, E. Truman, Lori Mueller, Andrew Clark, Amanda Ivy, Andrew Moore, Chris Chris Gantz, Carter Arndt, Jessica Bergin, Andrew Moore, Library, and Media.

### **PETITIONERS OR REPRESENTATIVES MUST BE PRESENT OR SUBJECT WILL NOT BE HEARD BY THE COMMISSION!**

#### **1. Call to Order**

- a. Note compliance with the Open Meeting Law.
- b. Roll Call
- c. Approve agenda.
- d. Approve October 20, 2020 meeting minutes.

#### **2. Public Invited to Speak** (Any citizen has the right to speak on any item of business that is on the agenda for Commission action if recognized by the presiding officer.)

#### **3. Public Hearings**

- a. Public Hearing to consider the request of the Baraboo School District for a Conditional Use Permit to convert the existing Knights of Columbus building, located on the southwest corner of Draper Street and 9<sup>th</sup> Avenue, to an alternative education school for secondary level students (6<sup>th</sup> through 12<sup>th</sup> grades) in an R-1 Single-Family Residential zoning district, located at 1015 Draper Street, City of Baraboo, Wisconsin.
- b. Public Hearing to consider the request of Amanda Ivy for a Conditional Use Permit to convert the existing church building at 620 S Parkway, located on the southwest corner of S Parkway and Vine Street, to a single-family residence with a computer repair service as a Home Occupation in an R-1A Single-Family Residential zoning district on Lot 2 of CSM #5771, City of Baraboo, Wisconsin.

#### **4. New Business**

- a. Consider the request of the Baraboo School District for a Conditional Use Permit to convert the existing Knights of Columbus building, located on the southwest corner of Draper Street and 9<sup>th</sup> Avenue, to an alternative education school for secondary level students (6<sup>th</sup> through 12<sup>th</sup> grades) in an R-1 Single-Family Residential zoning district, located at 1015 Draper Street, City of Baraboo, Wisconsin.
- b. Consider the request of Amanda Ivy for a Conditional Use Permit to convert the existing church building at 620 S Parkway, located on the southwest corner of S Parkway and Vine Street, to a single-family residence with a computer repair service as a Home Occupation in an R-1A Single-Family Residential zoning district on Lot 2 of CSM #5771, City of Baraboo, Wisconsin.
- c. Review and approve the Site Plan for the addition and renovations to the Baraboo Public Library, located at 230 4<sup>th</sup> Avenue, being Lots 6, 7, 8, 9 and parts of Lots 4, 5, and 10 of Block 21 of the Original Plat of the City of Baraboo (formerly Adams) in the NW ¼ of the SE ¼ and the SW ¼ of the SE ¼ of Section 31, T12N, R6E, City of Baraboo, Sauk County Wisconsin, by the City of Baraboo.

- d. Review and approve a 2-Lot Certified Survey Map for Bernice Cook at 1214 and 1220 Elizabeth Street, being Lot 8 and 9 in Block 3 of A.G. Tuttle's Subdivision, located on the southeast corner of Elizabeth & 11<sup>th</sup> Streets in the City of Baraboo, Sauk County, Wisconsin.
- e. Review conceptual development plan in accordance with Step 2 of the Planned Development process Amanda Ivy to convert a portion of the existing church building at 620 S Parkway, located on the southwest corner of S Parkway and Vine Street, to a small community center type of use to host a variety of instructional classes and entertainment "events" in an R-1A Single-Family Residential zoning district on Lot 2 of CSM #5771, City of Baraboo, Wisconsin.
- f. Review conceptual development plan in accordance with Step 2 of the Planned Development process for Decem Properties, LLC to allow an expansion of the existing Stratford Place Planned Development by adding a second multi-family residential building on approximately 2 acres of vacant adjacent property in a R-3 Three- and Four-Family Residential zoning district, located south of the south end of Vine Street.

## 5. Adjournment

Mike Palm, Mayor

Agenda prepared by Kris Jackson, 355-2730, Ext. 7309  
Agenda Posted by Kris Jackson on November 12, 2020

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**PLEASE TAKE NOTICE**, that any person who has a qualifying as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format, should contact the Municipal Clerk, 101 south Blvd., or phone 355-2700, during regular business hours at least 48 hours before the meeting so that reasonable arrangements can be made to accommodate each request.

**FOR INFORMATION ONLY, NOT A NOTICE TO PUBLISH.**

## Minutes of Plan Commission Meeting October 20, 2020

**Call to Order** – Mayor Palm called the meeting of the Commission to order at 5:15 PM.

Mayor Palm introduced Matthew Boeggner to the Commission. Boeggner replaced Ed Geick, who was appointed Interim City Administrator.

**Roll Call** – Present were Mayor Palm, Phil Wedekind, Roy Franzen, Jim O'Neill, Tom Kolb, Dee Marshall, and Matthew Boeggner.

Also in attendance were Tom Pinion, Bryan Downie, Marc Londo, Karen Stanley, Richard Blakeslee, Tom Greve, and Misty Muter.

### **Call to Order**

- a. Note compliance with the Open Meeting Law. Mayor Palm noted compliance with the Open Meeting Law.
- b. Agenda Approval: It was moved by Kolb, seconded by Wedekind to approve the agenda as posted. Motion carried unanimously.
- c. Minutes Approval: It was moved by Wedekind, seconded by Kolb to approve the minutes of the August 18, 2020 meeting. Motion carried unanimously.

**Public Invited to Speak** (*Any citizen has the right to speak on any item of business that is on the agenda for Commission action if recognized by the presiding officer.*) – There were no speakers.

### **Public Hearing**

- a. Public Hearing to consider a request by Bryan Downie, d/b/a KPG Iroquois Owner, LLC, for a Conditional Use permit to convert each of the two existing two-unit residential dwelling to two Side-by-Side single-family residential dwellings in an -1A Single-Family Residential zoning district, located at 887/889 and 893/895 Iroquois circle, city of Baraboo, Wisconsin – There were no speakers, the hearing was declared closed.

### **New Business**

- a. Consider the request by Bryan Downie, d/b/a KPG Iroquois Owner, LLC, for a Conditional Use Permit to convert each of the two existing two-unit residential dwellings to two Side-by-Side single-family residential dwellings in an R-1A Single-Family Residential zoning district, located at 887/889 and 893/895 Iroquois Circle, City of Baraboo, Wisconsin – Pinion said that Bryan Downie and his partners, d/b/a KPG Iroquois Owner, LLC have an accepted Offer to Purchase these two existing duplexes and they hope to convert both duplexes to two-side-by-side single-family attached dwellings, respectively, so each of the resulting four dwellings can be sold separately. He said that the application is complete and has been reviewed for compliance with the ordinance. He said that the proposed side-by-side dwellings satisfy the six requisite conditions of Section 17.37(9)(a), which includes a requirement for the corresponding CSM. It was moved by Kolb, seconded by Wedekind to approve the request conditioned on required firewalls being installed. On roll call vote for the motion, Ayes – O'Neill, Kolb, Marshall, Boeggner, Palm, Wedekind, and Franzen. Nay – 0. Motion carried 7-0.
- b. Review and Approve a four-lot Certified Survey Map for two side-by-side single-family attached residential dwellings in an R-1A Single-Family Residential zoning district for Bryan Downie, d/b/a KPG Iroquois Owner, LLC, on Lots 83 and 84 of the University Heights Subdivision, at 887/889 and 893/895 Iroquois Circle. It was moved by O'Neill, second by Franzen to approve the CSM as presented. On roll call vote for the motion, Ayes – Kolb, Marshall, Boeggner, Palm, Wedekind, Franzen, and O'Neill. Nay – 0. Motion carried 7-0.
- c. Review and Approve a three-lot Certified Survey Map of the 14.46-acre parcel at 1530 Tillberry Drive, being a part of Lot 1 of Sauk County Certified Survey Map No. 6424, for Don & Karen Stanley – Pinion said that the Stanleys are subdividing their 14.46-acre property into three lots of varying sizes. He said that the CSM is complete and is in compliance with the ordinance. It was moved by Wedekind, seconded by Marshall to approve the CSM as presented. On roll call vote for the motion, Ayes – Marshall, Boeggner, Palm, Wedekind, Franzen, O'Neill, and Kolb. Nay – 0. Motion carried 7-0.
- d. Review and Approve a one-lot Certified Survey Map for a 24.34 acre lot, being a part of the NE ¼ of the SW ¼ of Section 30, T12N, R7E, located immediately east of the easterly boundary of Rolling Meadows Estates subdivision and east of the easterly boundary and its northerly extension thereof of Rolling Meadows North

subdivision, for Judi Malone, d/b/a Legacy Housing LLC – Pinion said that Owner, Judi Malone is dividing this 24.34-lot from the balance (12.82 acres) of the vacant property they own north of Rolling Meadows North Subdivision. He said that the CSM is complete and does comply with the ordinance. Pinion said that since the proposed SM includes right-of-way dedication, the Commission provides a recommendation to Council for approval. It was moved by Wedekind, seconded by Kolb to forward the CSM to Council with a positive recommendation for approval. On roll call vote for the motion, Ayes – Boeggner, Palm, Wedekind, Franzen, O'Neill, Kolb, and Marshall. Nay – 0, motion carried 7-0.

- e. Review and approve a one-lot Certified Survey Map for the David A and Deloris E Leatherberry Living Trust for land in the City's Extraterritorial Plat Approval Jurisdiction, located on the west side of Crawford Street, approximately 1/8 mile north of Birnam Woods Rd, in the SE ¼ of the NW ¼, Section 26, T12N, R6E in the Town of Baraboo, Sauk County, Wisconsin – Pinion said that Mr. Leatherberry is subdividing a 20.04-acre lot from his existing 71.01-acre property (two existing parcels) on Crawford Street. He said that the land division does comply with the City's minimum lot size regulation in the ETJ area of 20 acres. He said that the Town of Baraboo has reportedly approved this CSM and Sauk County Planning & zoning staff has reviewed the CSM and has no apparent objection. It was moved Wedekind, seconded by Kolb to approve the CSM as presented. On roll call vote for the motion, Ayes – Palm, Wedekind, Franzen, O'Neill, Kolb, Marshall, and Boeggner. Nay – 0, motion carried 7-0.

**Adjournment** - It was moved by Kolb, seconded by Wedekind to adjourn at 5:26 p.m. The motion carried unanimously.

Mike Palm, Mayor



**PLAN COMMISSION ITEM SUMMARY**  
**November 17, 2020**

**SUBJECT: CONSIDER THE REQUEST OF THE BARABOO SCHOOL DISTRICT FOR A CONDITIONAL USE PERMIT TO CONVERT THE EXISTING KNIGHTS OF COLUMBUS BUILDING, LOCATED ON THE SOUTHWEST CORNER OF DRAPER STREET AND 9<sup>TH</sup> AVENUE, TO AN ALTERNATIVE EDUCATION SCHOOL FOR SECONDARY LEVEL STUDENTS (6<sup>TH</sup> THROUGH 12<sup>TH</sup> GRADES) IN AN R-1 SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT, LOCATED AT 1015 DRAPER STREET, CITY OF BARABOO, WISCONSIN.**

**SUMMARY OF ITEM A:** The Baraboo School District is in the process of purchasing the former Knights of Columbus building on the southwest corner of Draper St and 9<sup>th</sup> Ave. Schools are listed as a Conditional Use in R-1A Single-Family Residential Areas, as such the Districts proposed sue is eligible for a Conditional Use Permit.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 17.37 – *Conditional Use Review and Approval*, I have found the application to be complete and have reviewed it for compliance with the ordinance.

**ACTION: Approve / Deny Conditional Use Permit (with certain conditions?)**

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**SUBJECT: CONSIDER THE REQUEST OF AMANDA IVY FOR A CONDITIONAL USE PERMIT TO CONVERT THE EXISTING CHURCH BUILDING AT 620 S PARKWAY, LOCATED ON THE SOUTHWEST CORNER OF S PARKWAY AND VINE STREET, TO A SINGLE-FAMILY RESIDENCE WITH A COMPUTER REPAIR SERVICE AS A HOME OCCUPATION IN AN R-1A SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT ON LOT 2 OF CSM #5771, CITY OF BARABOO, WISCONSIN.**

**SUMMARY OF ITEM B:** Amanda Ivy and Andrew Clark currently live in Sauk City and operate a home-based computer service business. They would like to purchase the former church at 620 South Parkway and convert it to a single-family home with the computer service business as a Home Occupation.

A “Home Occupation” is defined as the production of goods and/or services, customarily conducted for gain or support, within a residence by a member of the family residing in the residence, and that has three or more of the following characteristics:

1. The direct sales of merchandise or service to customers at the residence, or meeting directly with customers at the residence. **Yes**
2. Non-immediate family employees come to the residence. **No**
3. The delivery of materials used in the home occupation to the residence. **Yes**
4. Equipment used in the home occupation is stored outside the residence. **No**
5. Evidence of use as a home occupation visible or audible from off the property. **Yes**

If this is successful, the applicant would also like to pursue a PUD overlay zoning to allow a “special use” of a portion of former nave (seating area) of the church, pursuant to Item E on the Agenda.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 17.37 – *Conditional Use Review and Approval*, I have found the application to be complete and have reviewed it for compliance with the ordinance. The proposed computer service meets the definition of a Home Occupation so it is eligible for a Conditional Use Permit.

**ACTION: Approve / Deny Conditional Use Permit (with certain conditions?)**

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**SUBJECT: REVIEW AND APPROVE THE SITE PLAN FOR THE ADDITION AND RENOVATIONS TO THE BARABOO PUBLIC LIBRARY, LOCATED AT 230 4<sup>TH</sup> AVENUE, BEING LOTS 6, 7, 8, 9 AND PARTS OF LOTS 4, 5, AND 10 OF BLOCK 21 OF THE ORIGINAL PLAT OF THE CITY OF BARABOO (FORMERLY ADAMS) IN THE NW ¼ OF THE SE ¼ AND THE SW ¼ OF THE SE ¼ OF SECTION 31, T12N, R6E, CITY OF BARABOO, SAUK COUNTY WISCONSIN, BY THE CITY OF BARABOO.**

**SUMMARY OF ITEM C:** The Baraboo School District is planning to renovate the existing Jack Young Middle School building as part of their recently approved \$41.7 million referendum. This building, which was originally built in the mid 1970's, will undergo some interior renovations and include a substantial addition to the building. The Middle School is located in an R-1A Single-Family Residential Zoning District and schools are allowed as a Conditional Use; however, there is no record of a Conditional Use Permit so it is technically considered a non-conforming use and any expansion requires City approval; hence the reason for this request. Complete plans and colored renderings of the proposed improvements are included in the packet and representative from the Baraboo School District and their architectural consultant, Eppstein Uhen, will be at the meeting to address any questions or concerns.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 17.37 – Conditional Use Review and Approval, I have found the application to be complete and have reviewed it for compliance with the ordinance.

**ACTION: Approve / Deny Conditional Use Permit (with certain conditions?)**

**ACTION: Approve / Conditionally Approve / Deny Site Plan**

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**SUBJECT: REVIEW AND APPROVE A 2-LOT CERTIFIED SURVEY MAP FOR BERNICE COOK AT 1214 AND 1220 ELIZABETH STREET, BEING LOT 8 AND 9 IN BLOCK 3 OF A.G. TUTTLE'S SUBDIVISION, LOCATED ON THE SOUTHEAST CORNER OF ELIZABETH & 11<sup>TH</sup> STREETS IN THE CITY OF BARABOO, SAUK COUNTY, WISCONSIN.**

**SUMMARY OF ITEM D:** These two existing lots contain two single-family homes with accessory structures, however, both principal structures are on the same lot. The owner of this property, Bernice Cook, would like to divide the two of the original platted lots, which front on 11<sup>th</sup> Street, in this subdivision such that each new lot contains only one principal structure and its accessory structure. The size of the new lots are essentially the same size as the original lots but the orientation is changed so the two new lots front on Elizabeth Street.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Chapter 18 – Subdivision and Platting, I have found the CSM to be complete and have reviewed it for compliance with the ordinance.

**ACTION: Approve / Conditionally Approve / Deny CSM**

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**SUBJECT: REVIEW CONCEPTUAL DEVELOPMENT PLAN IN ACCORDANCE WITH STEP 2 OF THE PLANNED DEVELOPMENT PROCESS AMANDA IVY TO CONVERT A PORTION OF THE EXISTING CHURCH BUILDING AT 620 S PARKWAY, LOCATED ON THE SOUTHWEST CORNER OF S PARKWAY AND VINE STREET, TO A SMALL COMMUNITY CENTER TYPE OF USE TO HOST A VARIETY OF INSTRUCTIONAL CLASSES AND ENTERTAINMENT "EVENTS" IN AN R-1A SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT ON LOT 2 OF CSM #5771, CITY OF BARABOO, WISCONSIN.**

**SUMMARY OF ITEM E:** This is only the review of a preliminary concept plan. Should this project proceed, it will likely be a PUD with a full GDP/SIP submittal that will be carefully reviewed by the Commission at a future date.

In addition to the Conditional Use Permit for a computer service business as a Home Occupation the applicants applied for this evening, they would like to convert a portion of the nave (seating area) of the former church to a quasi-community center of sorts. They have submitted a detailed description of their proposed use that is included in the packet.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 17.36B – *Planned Unit Developments*, I have found the application to be complete and have reviewed it for compliance with the ordinance.

**ACTION:** Provide informal feedback relating to the proposed land division. No formal action is necessary and any feedback you care to offer is non-binding.

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**SUBJECT: REVIEW CONCEPTUAL DEVELOPMENT PLAN IN ACCORDANCE WITH STEP 2 OF THE PLANNED DEVELOPMENT PROCESS FOR DECEM PROPERTIES, LLC TO ALLOW AN EXPANSION OF THE EXISTING STRATFORD PLACE PLANNED DEVELOPMENT BY ADDING A SECOND MULTI-FAMILY RESIDENTIAL BUILDING ON APPROXIMATELY 2 ACRES OF VACANT ADJACENT PROPERTY IN A R-3 THREE- AND FOUR-FAMILY RESIDENTIAL ZONING DISTRICT, LOCATED SOUTH OF THE SOUTH END OF VINE STREET.**

**SUMMARY OF ITEM F:** This is only the review of a preliminary concept plan. Should this project proceed, it will likely be a PUD with a full GDP/SIP submittal that will be carefully reviewed by the Commission at a future date.

The applicants are the owners of Stratford Place Apartment on Ellis Avenue. They are interested in purchasing some adjacent vacant property and would like to investigate the possibility of building a second apartment complex on that vacant land. The applicants have provided a couple of conceptual site plans for their proposed new building as well as the building plans for a project in Tomah that will be very similar to what they are hoping to develop in Baraboo.

I have included the PUD ordinance that was previously approved for Stratford Place. The Plan Commission approved that PUD with a condition that the density of the development did not exceed the density allowed in the underlying R-3 zoning district. The applicants concept plans propose a much higher density.

**COMPLIANCE/NONCOMPLIANCE:**

Pursuant to Section 17.36B – *Planned Unit Developments*, I have found the application to be complete and have reviewed it for compliance with the ordinance.

**ACTION:** Provide informal feedback relating to the proposed land division. No formal action is necessary and any feedback you care to offer is non-binding.

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For Office Use:	Date		Date
<input type="checkbox"/> Application given by _____	_____	<input type="checkbox"/> Referred to Council	_____
<input type="checkbox"/> Received by Bldg. Inspector	_____	<input type="checkbox"/> Public Hearing Set	_____
<input type="checkbox"/> Fee received by Treasurer	_____	<input type="checkbox"/> Date Notices Mailed	_____
<input type="checkbox"/> Building Insp. Certified	_____	<input type="checkbox"/> Public Hearing Published	_____
<input type="checkbox"/> Filed with City Clerk	_____	<input type="checkbox"/> Public Hearing Held	_____
<input type="checkbox"/> Referred for Staff Review	_____	<input type="checkbox"/> Plan Meeting Action	_____

**City of Baraboo**  
 101 South Blvd.  
 Baraboo, WI 53913  
 (608) 355-2730 phone  
 608 355-2719 fax

### APPLICATION FOR CONDITIONAL USE PERMIT

(A non-refundable fee must accompany this application upon filing. - \$250 if public hearing required, or \$100 if no public hearing required.)

**FOR TREASURER USE ONLY**  
 Receipt # \_\_\_\_\_  
 Account # 100-22-4440

Date of Petition: 10/28/2000

The undersigned, being all the owners of the real property covered by this conditional use request hereby petition the City of Baraboo Plan Commission as follows:

1. Name and address of each owner: (Please attach additional pages as necessary.)

BARABOO KNIGHTS OF COLUMBUS BUILDING CORPORATION  
1015 DRAPER STREET % DAN BULLOCK &  
BARABOO, WI 53913 STEVEN HAUSE

2. Name and address of applicant if not an owner. Describe interest in site (if tenancy, attach copy of current lease):

DR. LORI M. HUELNER / SCHOOL DISTRICT OF BARABOO  
INTEREST IN SITE FOR EDUCATIONAL SERVICES

3. Address of site: 1015 DRAPER STREET, BARABOO, WI 53913

4. Tax parcel number of site: 206-0168-00000

5. Accurate legal description of site (state lot, block and recorded subdivision or metes and bounds description) (Attach copy of owner's deed):

S 85-12-6 Pct SW NW Corn Inters  
St 9th Ave & W 11 Draper  
St - W 130. 2' - S 130' - E 130.5' to W 11  
St - N 130' To Pcb 0.40A

6. Present zoning classification: \_\_\_\_\_

7. Requested conditional use: The School District of Baraboo would like  
to use the site and building as a school site to  
provide alternative education services to secondary-  
level (Grades 6-12) students.

8. Brief description of each structure presently existing on site:

Two-story / level building

9. Brief description of present use of site and each structure on site:







# CARNEGIE-SCHADDE MEMORIAL LIBRARY EXPANSION & REMODEL

230 4TH AVENUE, BARABOO WI 53913

CITY OF BARABOO  
PLAN COMMISSION  
SUBMITTAL SET  
November 11, 2020



PROJECT DATE: AUGUST 13, 2020		DRAWN BY: Author		No		DATE		REVISIONS		BY	
		DESIGNED BY: Designer									
		CHECKED BY: Checker									
PLOT DATE: 11/11/2020 11:17:56 AM, BIM 360://18603000 - Baraboo Public Library/18603000 - Baraboo Public Library_R2020.rvt											

PRELIMINARY



CARNEGIE-SCHADDE MEMORIAL LIBRARY  
EXPANSION & REMODEL  
230 4th Avenue, Baraboo WI

PERSPECTIVES

PROJECT NO.  
18603000  
SHEET  
T003





PROJECT DATE:		NO.	DATE	REVISION	BY
DRAWN BY:	DRS	-	-		
DESIGNED BY:	EGA	-	-		
CHECKED BY:	Init	-	-		
<b>PRELIMINARY</b>					

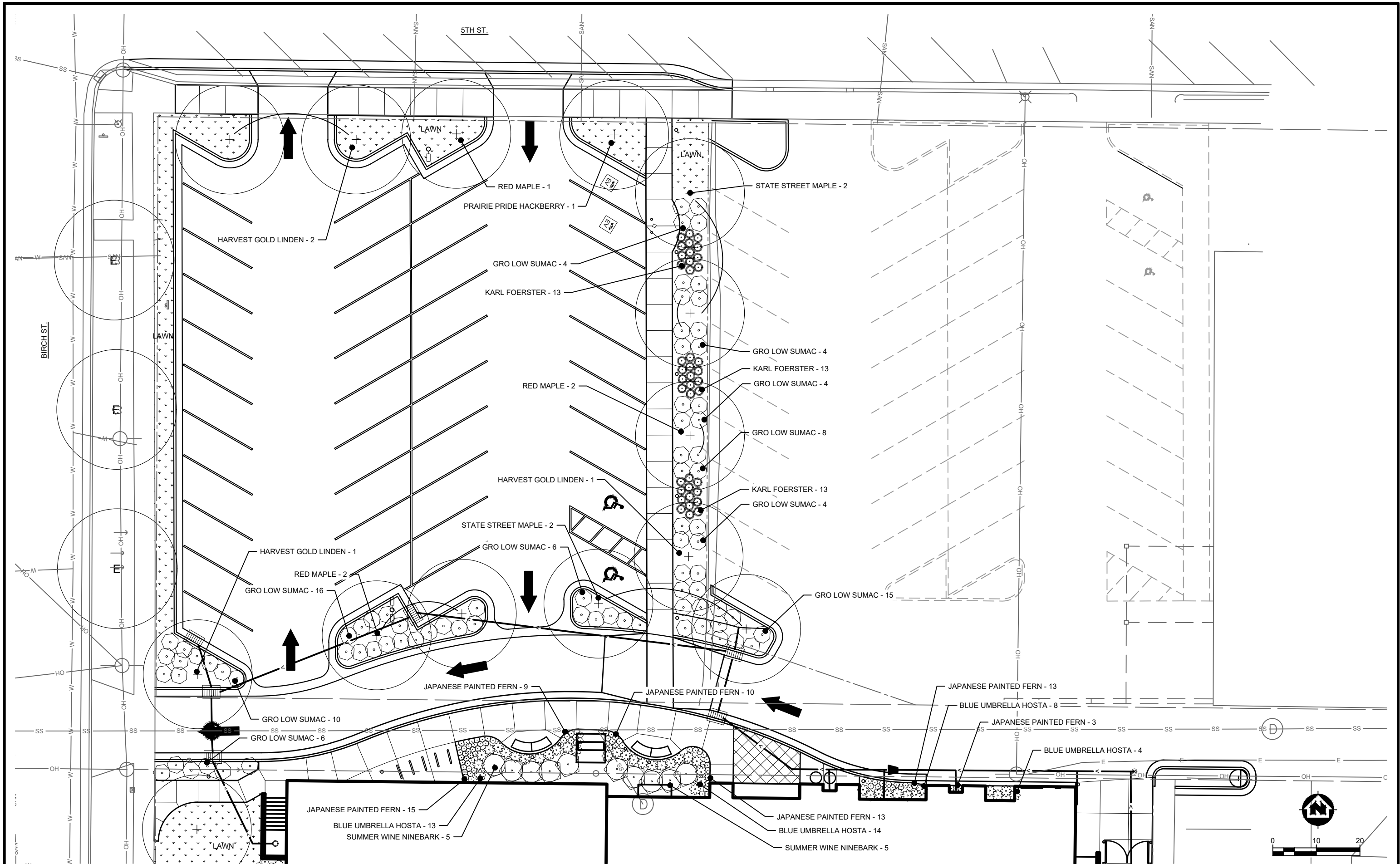


CARNEGIE-SCHADDE MEMORIAL LIBRARY  
EXPANSION & REMODEL  
230 4TH AVENUE, BARABOO WI

LANDSCAPE PLAN

PROJECT NO.  
18603000  
SHEET  
L 100





PROJECT DATE: 11/11/2020 11:39 AM	DRAWN BY: DRS	NO.	DATE	REVISION	BY
	DESIGNED BY: ECA				
	CHECKED BY: Init				

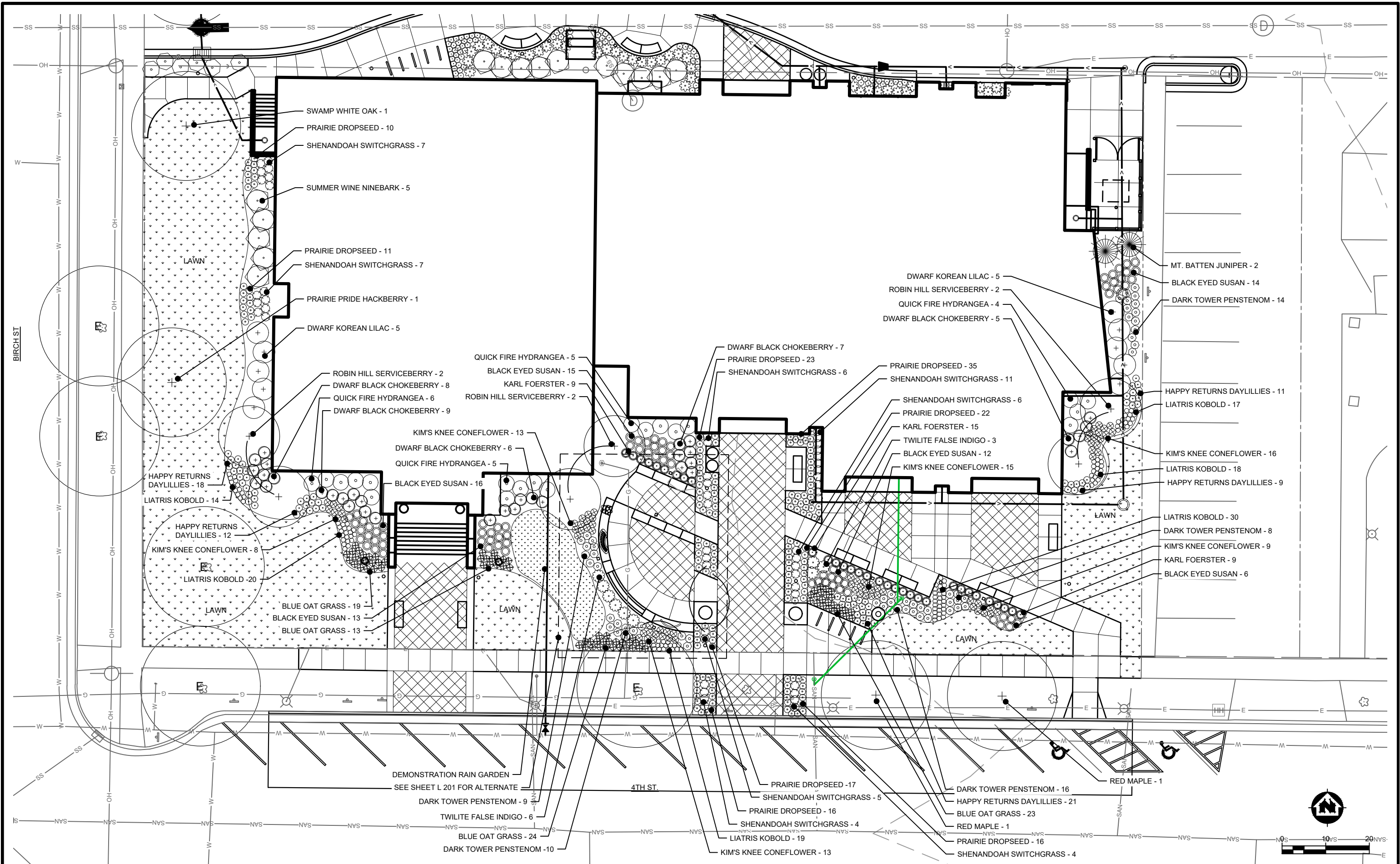
**PRELIMINARY**



**CARNEGIE-SCHADDE MEMORIAL LIBRARY**  
EXPANSION & REMODEL  
230 4TH AVENUE, BARABOO WI

LANDSCAPE PLAN - NORTH

PROJECT NO: 18603000  
SHEET L100



PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
11/11/2020	DRS				
	DESIGNED BY: ECA				
	CHECKED BY: Init				

PLOT DATE: 11/11/2020 11:39 AM, P:\18600s\18600s\18603\18603000\CADD\Construction Drawings\18603000 Landscape Plan.dwg

PRELIMINARY

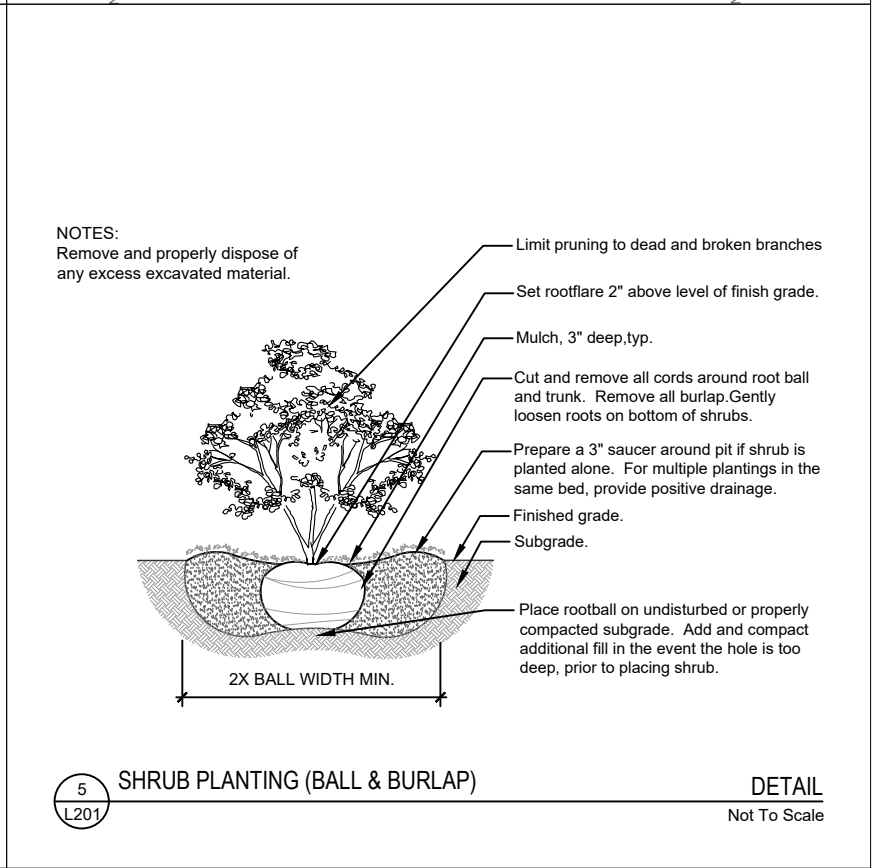
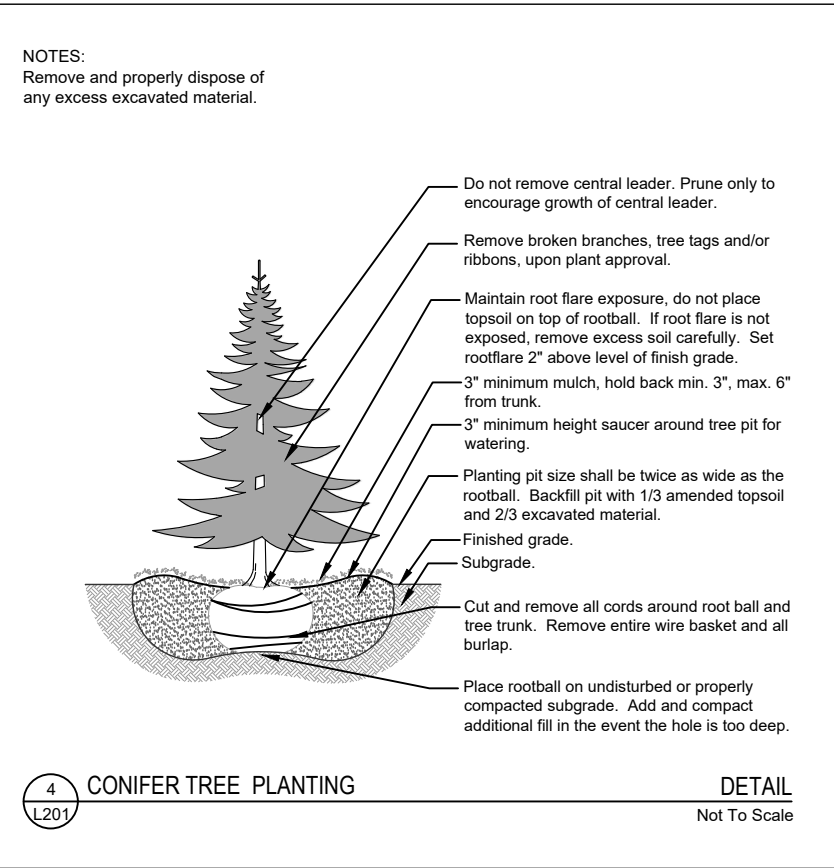
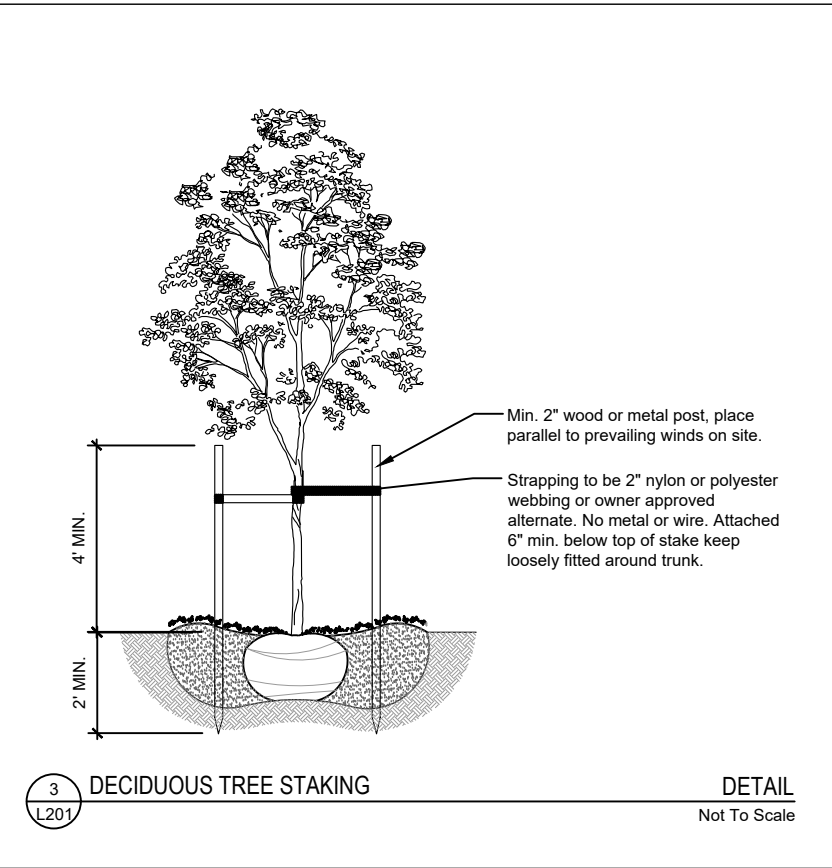
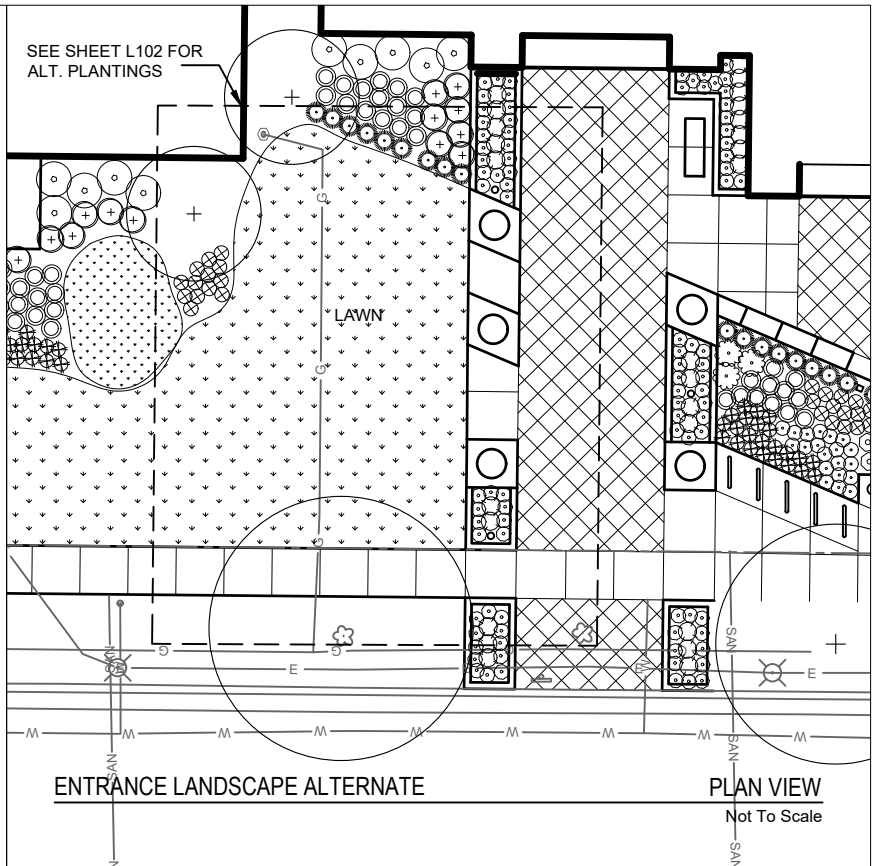
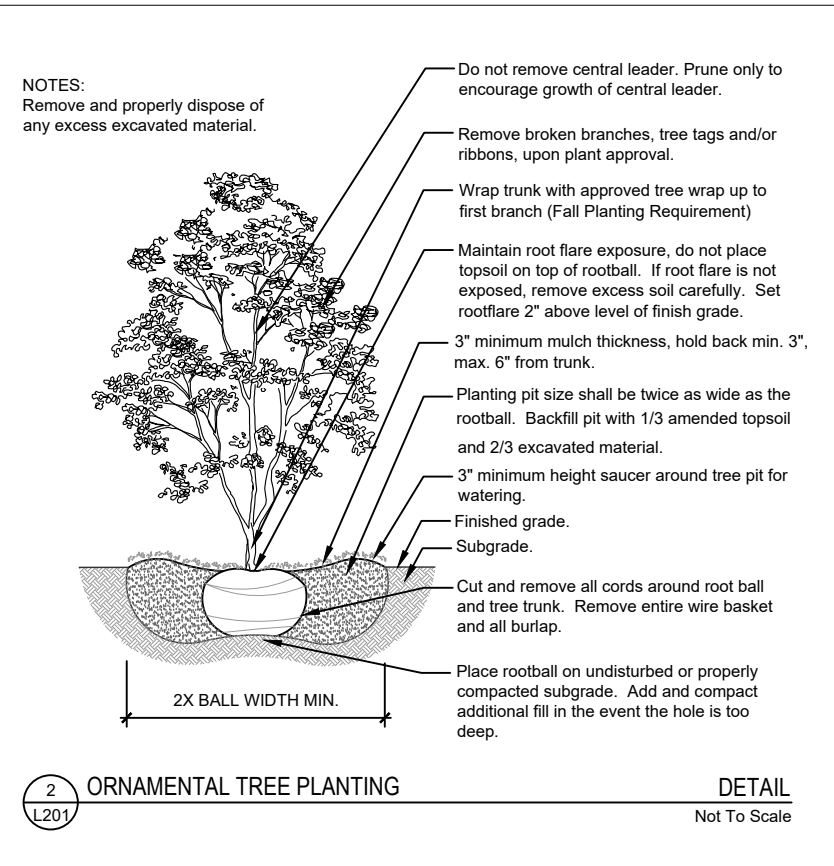
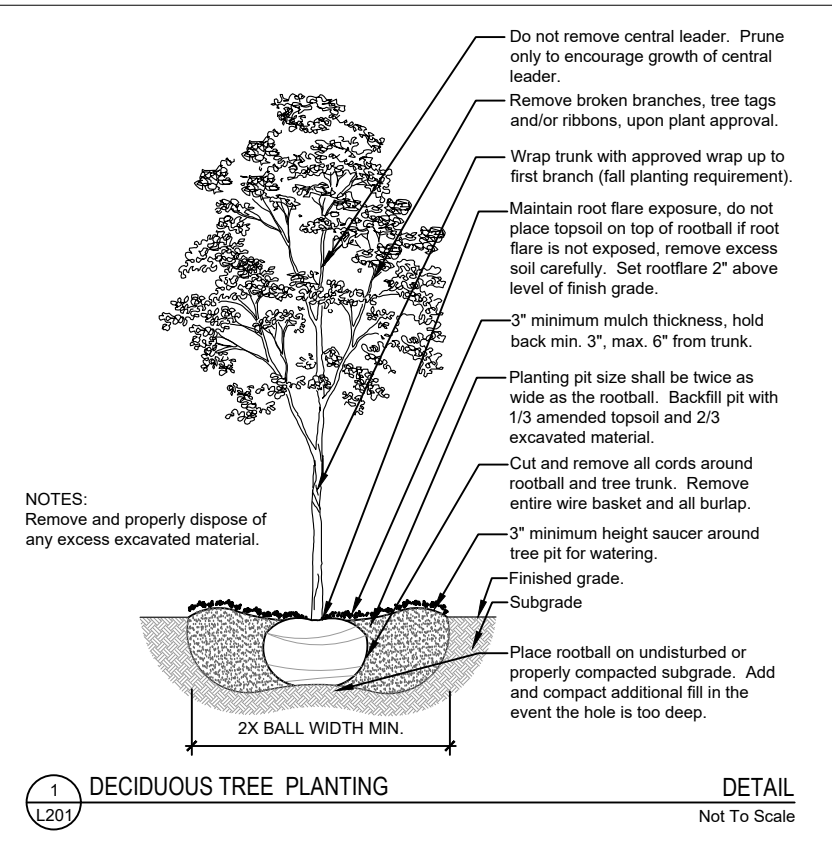


CARNEGIE-SCHADDE MEMORIAL LIBRARY  
EXPANSION & REMODEL  
230 4TH AVENUE, BARABOO WI

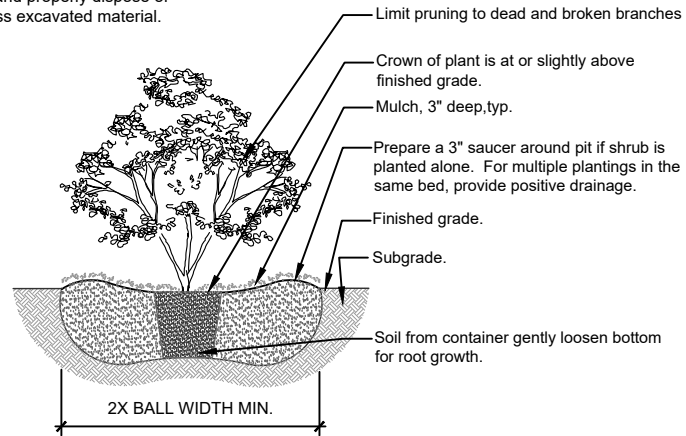
LANDSCAPE PLAN - SOUTH

PROJECT NO.  
18603000  
SHEET  
L101



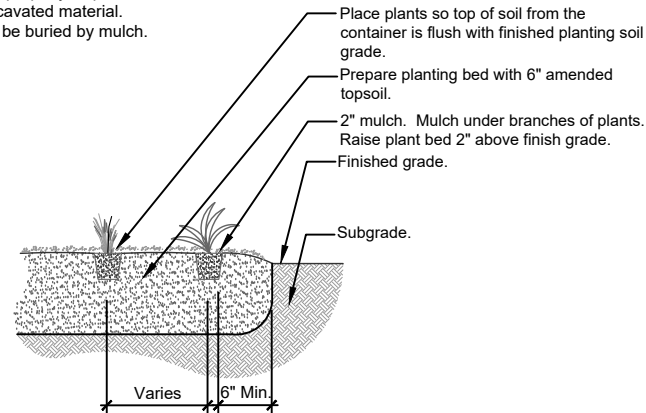


NOTES:  
Remove and properly dispose of any excess excavated material.

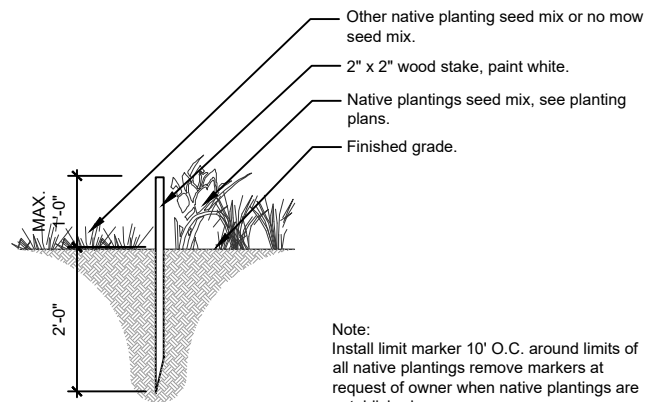


1 SHRUB PLANTING (CONTAINER) DETAIL  
L202 Not To Scale

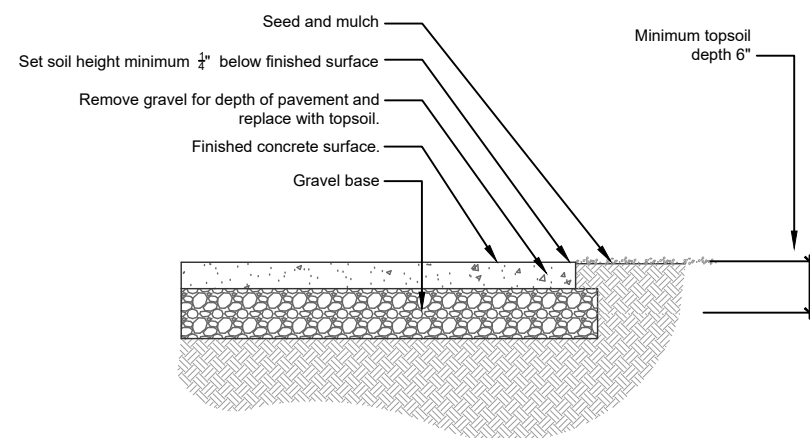
NOTES:  
1. Remove and properly dispose of any excess excavated material.  
2. No plants to be buried by mulch.



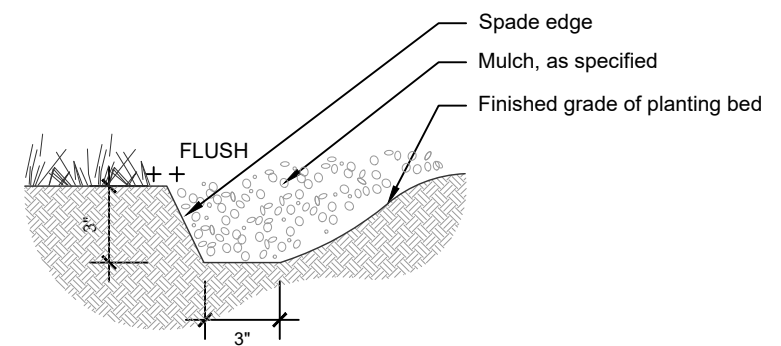
2 PERENNIAL PLANTING DETAIL  
L202 Not To Scale



3 NATIVE AREA MARKER DETAIL  
L202 Not To Scale



4 SEEDING ALONG SIDEWALK DETAIL  
L202 Not To Scale



5 SHOVEL CUT (SPADE) EDGE DETAIL  
L202 Not To Scale

PLANT MATERIALS LIST

ID	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & NOTES*	QUANTITY		TOTAL QUANTITY
*unless otherwise noted						SHEET		
Deciduous Trees						L101	L102	
AF	Acer x freemanii 'Celebration'	Celebration Maple	2" cal.	B&B	as drawn	5	2	7
AG	Amelanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	1.5" cal.	B&B	as drawn	-	6	6
AM	Acer miyabei 'Morton'	State Street Maple	2" cal.	B&B	as drawn	2	-	2
CO	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2" cal.	B&B	as drawn	1	1	2
QB	Quercus bicolor	Swamp White Oak	2" cal.	B&B	as drawn	1	-	
TX	Tilia x Harvest Gold	Harvest Gold Linden	2" cal.	B&B	as drawn	4	-	4

21

Coniferous Shrubs\*

Jm	Juniperus chinensis 'Mt. Batten'	Mt Batten Juniper	4'	B&B	as drawn	-	2	2
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2

Deciduous Shrubs

Amb	Aronia melanocarpa 'Iroquois Beauty'	Dwarf Black Chokeberry	3 gal.	CONT.	as drawn	-	35	35
Hp	Hydrangea paniculata 'SMHPLQF' Little Quick Fire	Little Quick Fire Hydrangea	3 gal.	CONT.	as drawn	-	20	20
Po	Potentilla opulifolius	Ninebark	3 gal.	CONT.	as drawn	10	5	15
Ra	Rhus aromatica 'Gro-low'	Grow Low Fragrant Sumac	3 gal.	CONT.	as drawn	69	-	69
Sm	Syringa meyeri 'Palabin'	Dwarf Korean Lilac	3 gal.	CONT.	as drawn	-	10	10

145

Perennials and Grasses

an	Athyrium niponicum 'Pictum'	Japanese Painted Fern	1 gal.	CONT.	as drawn	63	-	63
bv	Baptisia x variicolor 'Twilite'	Twilite False Indigo	1 gal.	CONT.	as drawn	-	9	9
ca	Calamagrostis x acutiflora 'Kark Foerster'	Karl Foerster Feather Reed Grass	1 gal.	CONT.	as drawn	39	33	72
ep	Echinacea purpurea 'Kim Knee High'	Kim's Knee High Purple Coneflower	1 gal.	CONT.	as drawn	-	74	74
hb	Hosta 'Blue Umbrellas'	Blue Umbrella Hosta	1 gal.	CONT.	as drawn	39	-	39
hh	Hemerocallis 'Happy Returns'	Daylily	1 gal.	CONT.	as drawn	-	71	71
hs	Helictotrichon semperivirens	Blue Oat Grass	1 gal.	CONT.	as drawn	-	79	79
ls	Liatris spicata 'Kobold'	Blazing Star	1 gal.	CONT.	as drawn	-	118	118
pvs	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 gal.	CONT.	as drawn	-	50	50
px	Penstemon x 'Dark Towers'	Dark Tower Penstemon	1 gal.	CONT.	as drawn	-	57	57
rg	Rudbeckia fulgida var. sullivantii 'Goldstrum'	Black Eyed Susan	1 gal.	CONT.	as drawn	-	76	76
sh	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal.	CONT.	as drawn	-	150	150

575

SITE PREPARATION, LAYOUT AND PLANTING NOTES

1. REMOVE AND DISPOSE OF TURF/SOD AND OTHER EXISTING PLANTS, INCLUDING ESTABLISHED WEEDS PRIOR TO SEEDING.
2. SEED LIMIT LINES ARE APPROXIMATE. SEED TO LIMITS OF GRADING AND DISTURBANCE.
3. CONTRACTOR RESPONSIBLE FOR EROSION CONTROL IN ALL SEEDED AREAS. ALL DISTURBED AREAS ARE TO BE PROTECTED WITHIN 24 HOURS. DO NOT DISTURB MORE AREA THAN CAN BE COMPLETED AND PROTECTED WITHIN 24 HOURS.
4. TREES AND SHRUBS SHALL BE PLACED AS DRAWN. NO SUBSTITUTES SHALL BE MADE WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
5. EQUALLY SPACE PERENNIALS AS SPECIFIED PER NOTES LISTED ON DRAWINGS.
7. ALL PLANT MATERIALS SHALL BE OF MATCHING FORMS AND SIZES WITHIN EACH SPECIES AND SIZE DESIGNATION ON THE DRAWINGS.
8. PERENNIAL PLANTING BEDS TO BE COVERED WITH 2" MIN. TWICE SHREDDED HARD WOOD MULCH, UNLESS OTHERWISE NOTED. NO WEED BARRIER SHALL BE USED.
9. ALL TREES SHALL RECEIVE A 5' DIAMETER MULCH RING WITH 3" MIN. TWICE SHREDDED HARD WOOD MULCH. ALL TREE RINGS TO RECEIVE SPADE EDGE.
10. ALL BEDS SHALL HAVE A SPADE EDGE UNLESS OTHERWISE NOTED.
11. ALL LANDSCAPE BED CURVES SHALL BE SMOOTH AND NOT SEGMENTED. SEGMENTED CURVES SHALL BE REPLACED WITH SMOOTH CURVES AT NO ADDITIONAL COST TO THE OWNER.
12. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE DEPARTMENT AND LOCAL AGENCY. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN. NO ADDITIONAL PAYMENTS WILL BE MADE FOR MATERIALS REQUIRED TO COMPLETE THE WORK AS DRAWN.
13. CONTRACTOR SHALL STAKE ALL PROPOSED TREE LOCATIONS PRIOR TO PLANTING. CONTRACTOR SHALL THEN NOTIFY THE FIELD ENGINEER AND OWNER ONCE THE STAKING IT COMPLETE FOR A WALK THRU REVIEW OF THE TREE LOCATIONS. FINAL TREE LOCATIONS ARE SUBJECT TO MOVING PER FINAL CONSTRUCTION AND LAYOUT. TREES SHALL BE PLANTED A MINIMUM OF 5' FROM ANY WALK OR PAVED EDGE.
14. ADJUSTMENT TO STAKE LOCATIONS DUE TO DISCREPANCIES BETWEEN COORDINATES AND DIMENSIONS IS INCIDENTAL TO THE CONTRACT. NO ADDITIONAL PAYMENTS WILL BE MADE FOR THIS WORK.
15. NO PERENNIAL OR ORNAMENTAL GRASS SHALL BE PLANTED WITHIN IN 12" IN OF ANY ADJACENT EDGE. NO SHRUB SHALL BE PLANTED WITHIN 30" ANY ADJACENT EDGE.
16. ALL PLANT MATERIAL SHALL BE PRODUCED BY A NURSERY, BE HEALTHY AND FREE FROM INSECTS, DISEASE OR INJURY. SPECIMENS SHALL EXHIBIT NORMAL HABIT OF GROWTH TYPICAL FOR THE SPECIES. PLANT SIZE SHALL BE EQUAL TO OR EXCEEDING THE SIZE LISTED IN THE PLANT LIST.
17. CONTRACTOR SHALL SPADE OUT TREES AS INDICATED ON THE CONTRACT DOCUMENTS. SPADED TREES WILL REMAIN ONSITE AND FINAL LOCATION OF TREES WILL BE DETERMINED BY THE OWNER AND FIELD ENGINEER. CONTRACTOR SHALL COORDINATE WITH OWNER AND FIELD ENGINEER PRIOR TO SPADING OF TREES ON FINAL PLACEMENT LOCATIONS.

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PROJECT DATE:	DRAWN BY: DRS	.	.		.
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PLOT DATE: 11/11/20, P:\18600a\18600a\18603\18603000\CADD\Construction Drawings\18603000 Planting Details.dwg					

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PLANTING SCHEUDLE

FILE NO. 18603000
SHEET L202





CELEBRATION MAPLE



ROBIN HILL SERVICEBERRY



STATE STREET MAPLE



PRAIRIE PRIDE HACKBERRY



SWAMP WHITE OAK



MOUNTBATTEN JUNIPER



DWARF BLACK CHOKEBERRY



LITTLE QUICK FIRE HYDRANGEA



NINEBARK



GROW LOW SUMAC



DWARF KOREAN LILAC



JAPANESE PAINTED FERN



TWILITE FALSE INDIGO



KARL FOERSTER FEATHER REED GRASS



KIM'S KNEE HIGH PURPLE CONEFLOWER



BLUE UMBRELLA HOSTA



HAPPY RETURNS DAYLILY



BLUE OAT GRASS



LIATRIS BLAZING STAR



SHENANDOAH SWITCHGRASS



DARK TOWER PENSTEMON



BLACK EYED SUSAN



PRAIRIE DROPSEED

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F.B.:		CHECKED BY:	INIT				
PLOT DATE:	11/11/20	P:	18600a	18600a	18603000	CADD	Construction Drawings

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PLANT IMAGES

FILE NO.
18603000
SHEET
L203



LEGEND

- BOUNDARY LINE

PROPERTY LINE

RIGHT-OF-WAY LINE

UNDERGROUND ELECTRIC

UNDERGROUND TELEPHONE

OVERHEAD ELECTRIC

SANITARY SEWER

STORM SEWER

WATER LINE W/SIZE

GAS LINE

FENCE LINE

CONTOUR LINE

PARKING STRIPE

BENCHMARK

FOUND 1 1/4" IRON PIPE

FOUND 3/4" IRON REBAR

RECORD INFORMATION

N - NORTH

S - SOUTH

E - EAST

W - WEST

CONIFEROUS TREE

DECIDUOUS TREE

SANITARY MANHOLE

HYDRANT

WATER VALVE

CURB STOP

STORM MANHOLE

CURB INLET (INL)

MANHOLE

ROOF DRAIN

ELECTRIC TRANSFORMER

TELEPHONE PEDESTAL, FIELD VERIFY

TELEPHONE MANHOLE

HANDHOLE

ELECTRIC METER

GAS METER

AIR CONDITIONER

POWER POLE

UTILITY POLE GUY ANCHOR

LIGHT POLE

GROUND LIGHT

SIGN

FLAGPOLE

BENCHMARK TABLE

POINT	DESCRIPTION	ELEVATION
BM 1	TOP NUT FIRE HYDRANT AT SE CORNER OF 5TH AND BIRCH	877.02
BM 2	TOP NUT FIRE HYDRANT AT NE CORNER OF 4TH AND BIRCH	874.23

SURVEYOR'S CERTIFICATION

I, Kevin C. Lord, Professional Land Surveyor #2645, hereby certify that I have surveyed and mapped the property shown upon this plat and that the area within the plat is a correct representation of the boundaries and improvements of the land surveyed to the best of my information, knowledge and belief.

Legal Description:

The west 60 feet of Lot 5, and all of Lot 6, 7, 8, and 9 all in Block 21 of the City of Baraboo, formerly known as Adams, Sauk County, Wisconsin. Said parcel contains a total of 43,298 square feet or 0.994 acres more or less.

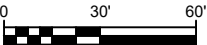
I further certify that I have complied with Chapter A-E 7 of the administrative code of the State of Wisconsin for minimum standards for property surveys to the best of my knowledge and belief.

MSA Professional Services, Inc.  
Kevin C. Lord, Professional Land Surveyor #2645

UTILITY LOCATIONS SHOWN WERE OBSERVED AND LOCATED BY DIGGERS HOTLINE. EXISTING UTILITIES THAT ARE KNOWN TO BE PRESENT BUT MAY NOT BE DEPICTED INCLUDE: FIBER COMMUNICATION, UNDERGROUND ELECTRICAL SERVICE, WATER LATERAL, AND SEWER LATERAL.



BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), SAUK COUNTY 2011 ADJUSTMENT.



**DIGGERS HOTLINE**

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www.DiggersHotline.com

NOTE:  
UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.

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PROJECT NO.:	18603000	SCALE: AS SHOWN	NO.	DATE	REVISION	BY
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UTILITY STRUCTURES

S1 - SANITARY MANHOLE  
RIM - 874.19  
INV W - 861.59  
INV E - 861.35  
INV S - 861.19

S2 - SANITARY MANHOLE  
RIM - 871.02  
INV N - 859.57  
INV W - 861.02  
INV E - 860.92  
INV S - 859.52

ST3 - STORM MANHOLE  
RIM - 873.50  
INV N 36° - 863.15  
INV W 24° - 865.35  
INV E 12° - 867.30  
INV S 36° - 863.10

INL4 - STORM INLET  
FLOWLINE - 873.34  
INV W 12° - 870.54

INL5 - STORM INLET  
FLOWLINE - 873.68  
INV E 12° - 869.68

INL6 - STORM INLET  
FLOWLINE - 874.62  
INV W 12° - 870.42

ST7 - STORM MANHOLE  
RIM - 871.69  
INV N 36° - 862.09  
INV W 12° - 865.76  
INV E 24° - 863.74  
INV S 36° - 860.84

ST8 - STORM MANHOLE  
RIM - 874.11  
INV NW 4° - 872.01

ST9 - STORM MANHOLE  
RIM - 879.93  
INV W 24° - 871.43  
INV E 24° - 871.53

ST10 - STORM MANHOLE  
RIM - 870.96  
INV N 36° - 859.51  
INV NW 12° - 865.76  
INV SW 12° - 865.36  
INV S 36° - 859.41

ST8 - STORM MANHOLE  
RIM - 874.11  
INV NW 4° - 872.01  
SAN PIPE RUNS THROUGH  
MANHOLE - TOP OF  
PIPE = 861.86

ST9 - STORM MANHOLE  
RIM - 879.93  
INV W 24° - 871.43  
INV E 24° - 871.53

ST10 - STORM MANHOLE  
RIM - 870.96  
INV N 36° - 859.51  
INV NW 12° - 865.76  
INV SW 12° - 865.36  
INV S 36° - 859.41

ST10 - STORM MANHOLE  
RIM - 870.96  
INV N 36° - 859.51  
INV NW 12° - 865.76  
INV SW 12° - 865.36  
INV S 36° - 859.41  
SAN PIPE RUNS THROUGH  
MANHOLE - TOP OF  
PIPE = 861.86

INL11 - STORM INLET  
FLOWLINE - 869.59  
INV SE 12° - 866.74

INL 12 - STORM INLET  
FLOWLINE - 869.76  
INV NE 12° - 866.56

INL 13 - STORM INLET  
FLOWLINE - 870.61  
INV NW 12° - 867.01

INL 14 - STORM INLET  
FLOWLINE - 870.12  
INV SW 12° - 866.87

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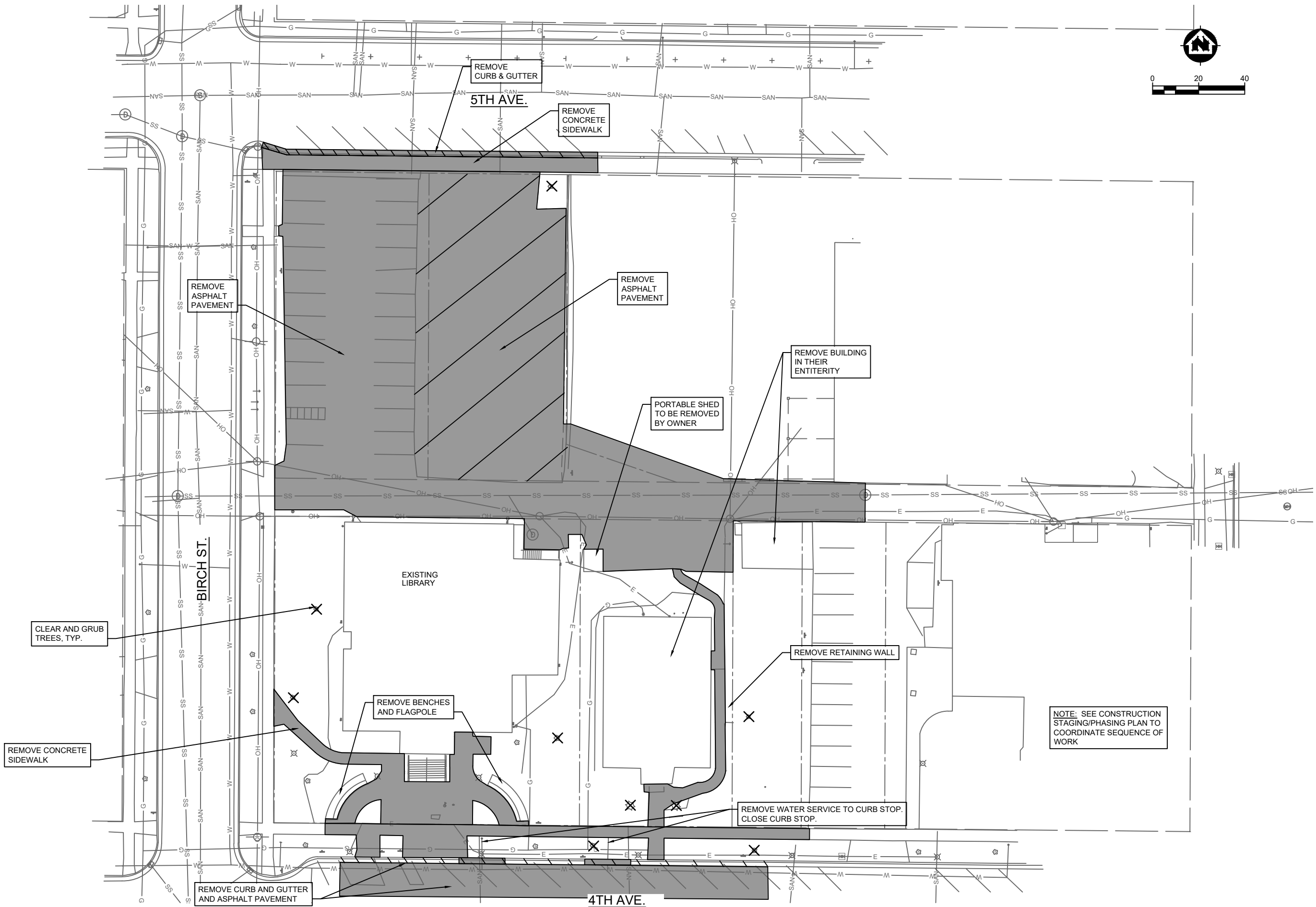


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EXISTING SITE SURVEY

FILE NO.  
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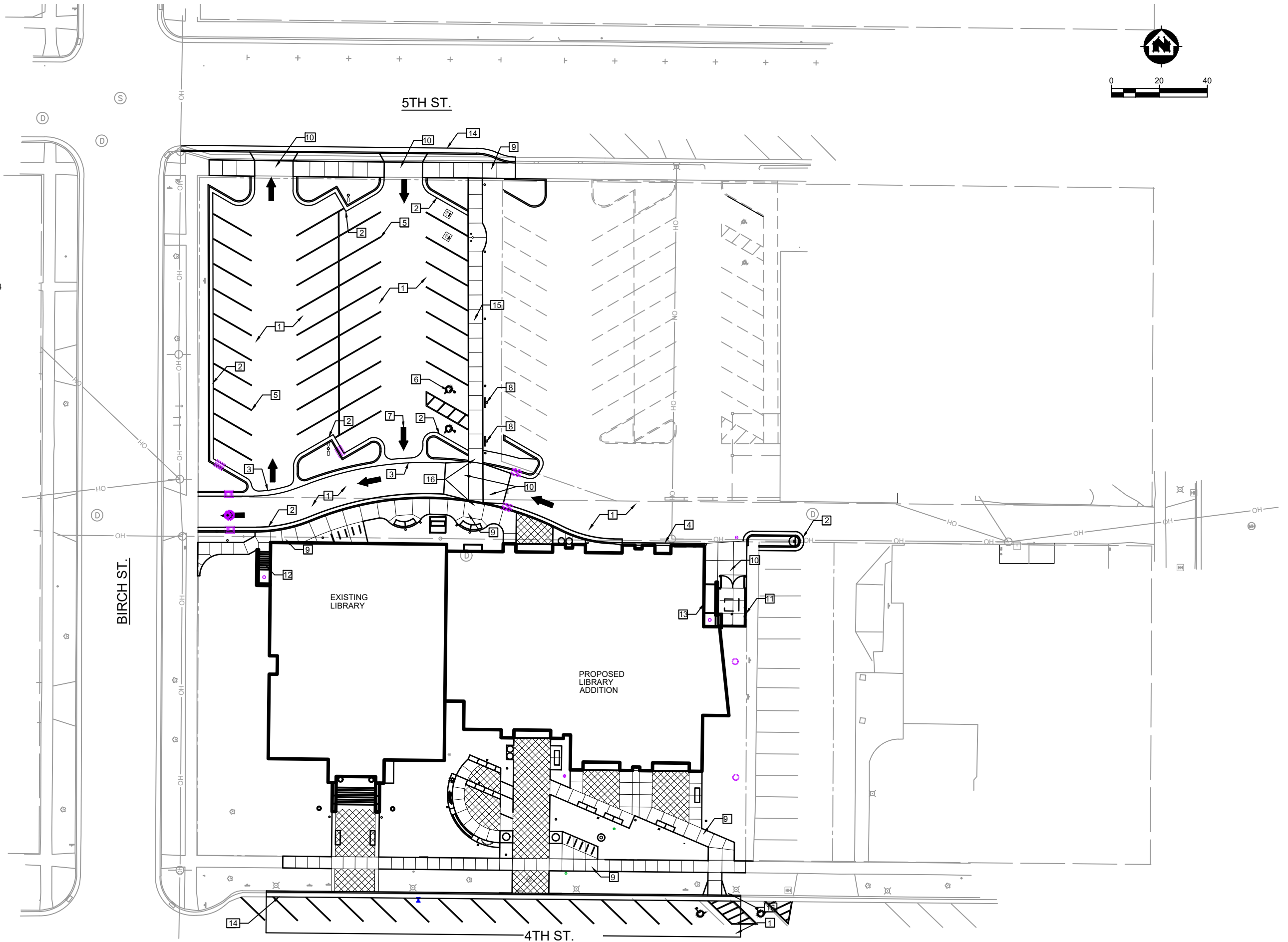
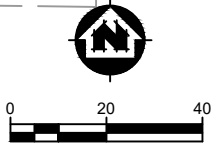
**REMOVALS PLAN**

PROJECT NO:  
**18603000**  
SHEET  
**C101**

PLOT DATE: 11/11/2020 11:37 AM, P:\18600s\18600s\18603\18603000\CADD\Construction Drawings\18603000 Removals Plan.dwg

BOX NOTES

- 1 ASPHALT PAVEMENT, SEE DETAIL 4/C105
- 2 24" CURB & GUTTER, SEE DETAIL 7/C104
- 3 24" CONCRETE FLUME
- 4 12" RIBBON CURB, SEE DETAIL 6/C104
- 5 PAVEMENT MARKING, 4-INCH, WHITE
- 6 ACCESSIBLE PARKING SYMBOL, SEE DETAIL 6/C105
- 7 TRAFFIC MARKING, ARROW, WHITE
- 8 ACCESSIBLE PARKING SIGN, SEE DETAIL 6/C105
- 9 CONCRETE SIDEWALK, 5-INCH
- 10 CONCRETE PAVEMENT, 7-INCH, SEE DETAIL 5/C105
- 11 DUMPSTER ENCLOSURE
- 12 CONCRETE STEPS
- 13 CONCRETE RAMP
- 14 30" CURB AND GUTTER, SEE DETAIL 4/C104
- 15 INTEGRAL CURB AND SIDEWALK, SEE DETAIL 5/C104
- 16 ACCESSIBLE RAMP



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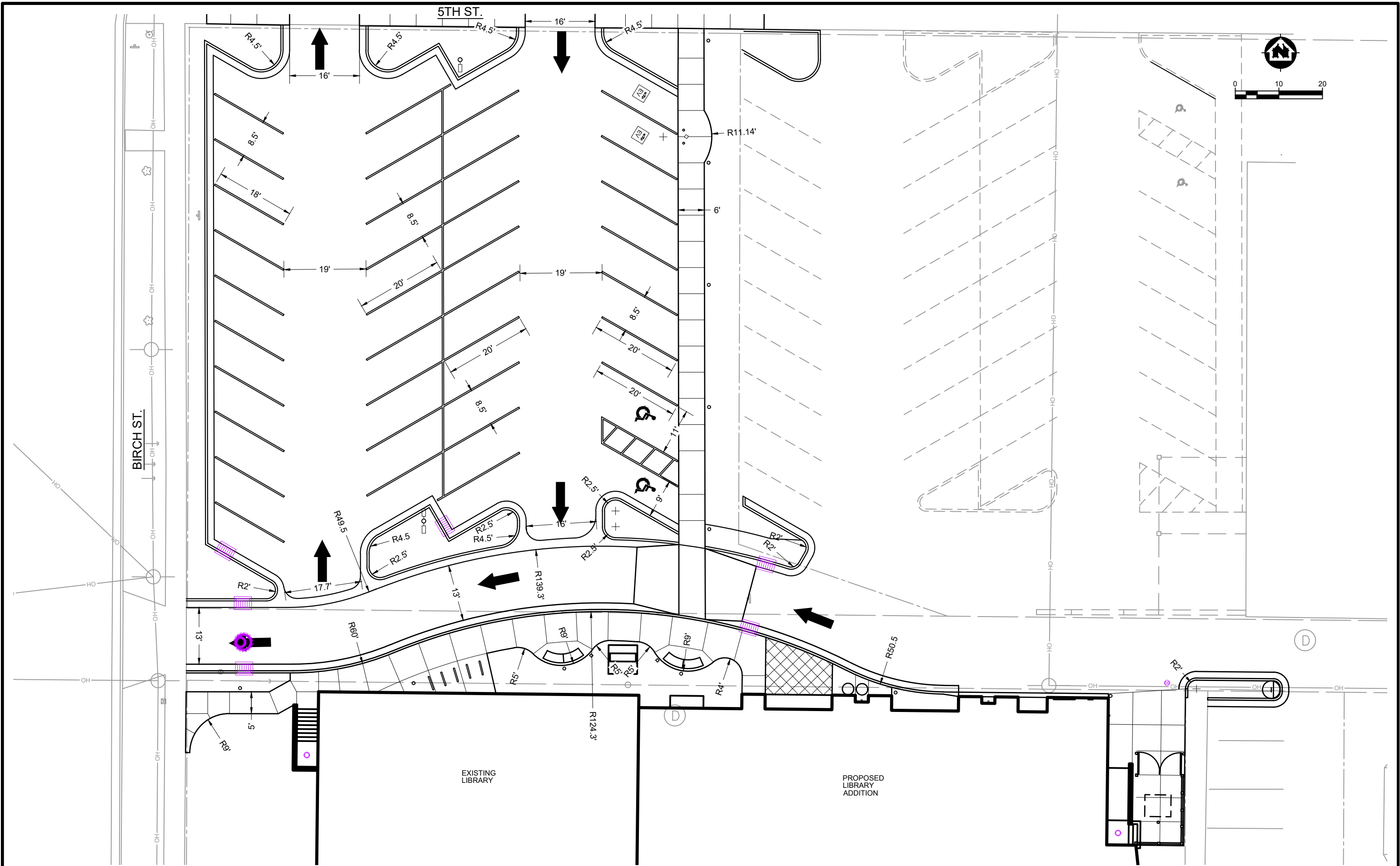
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PROPOSED SITE PLAN

PROJECT NO:  
18603000  
SHEET  
C102



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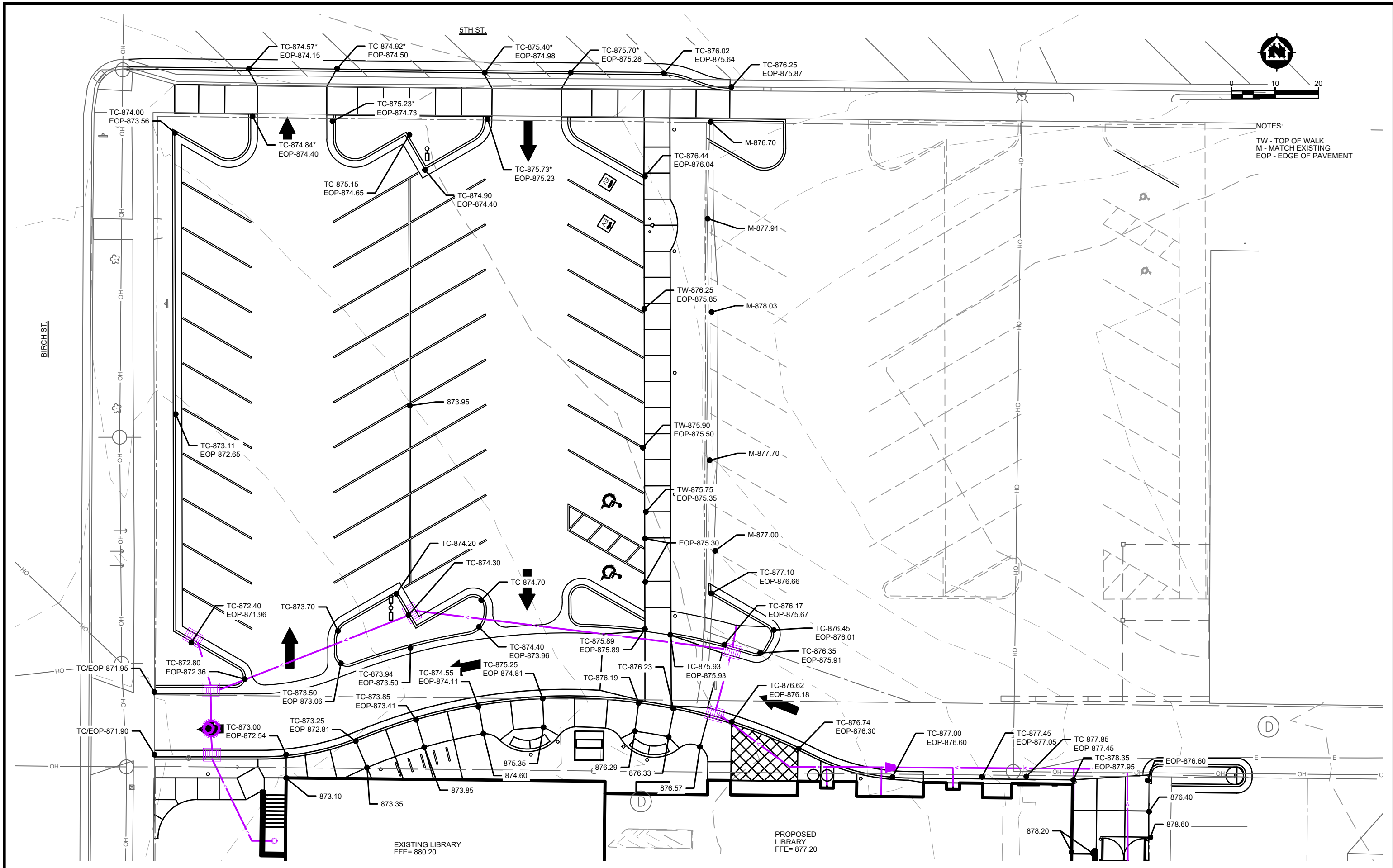
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**SITE PLAN-DIMENSIONS**

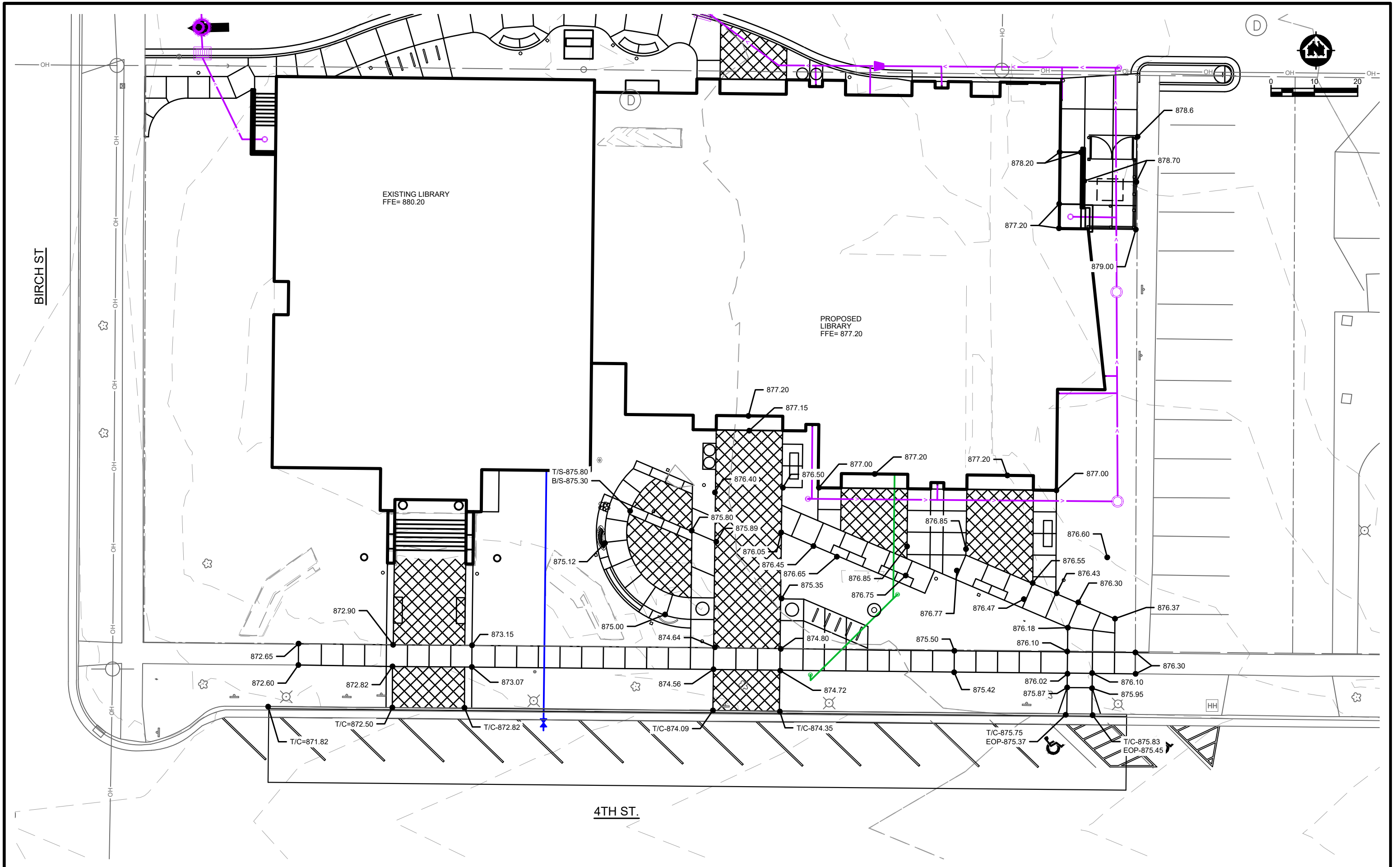
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SHEET	C103

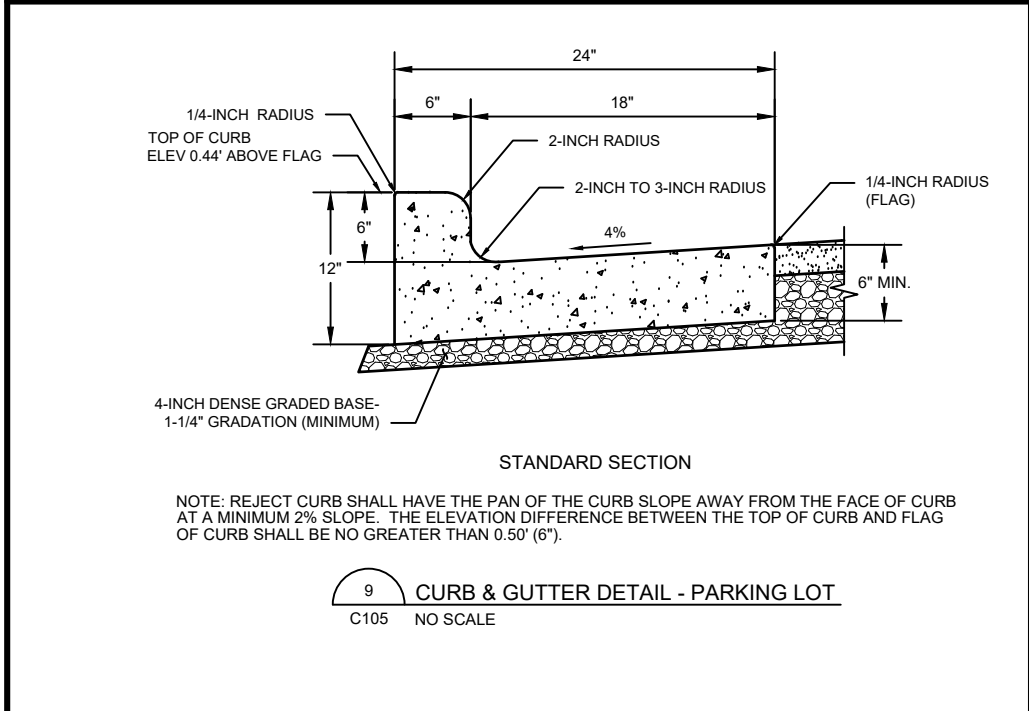
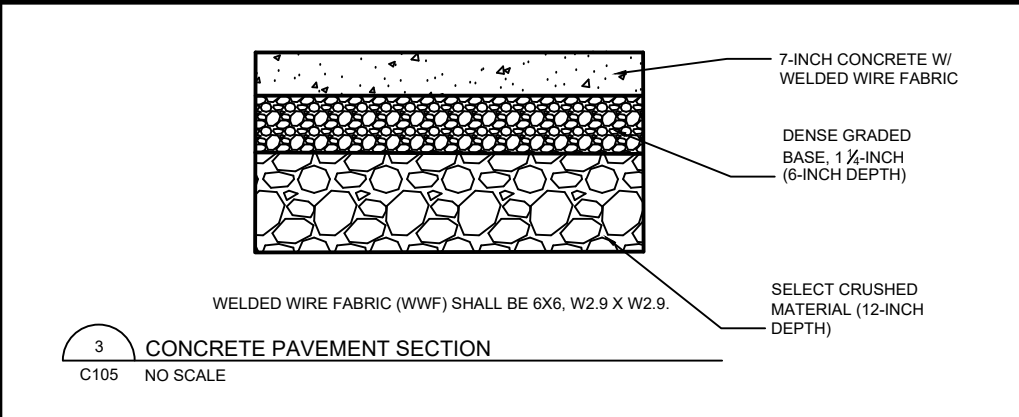
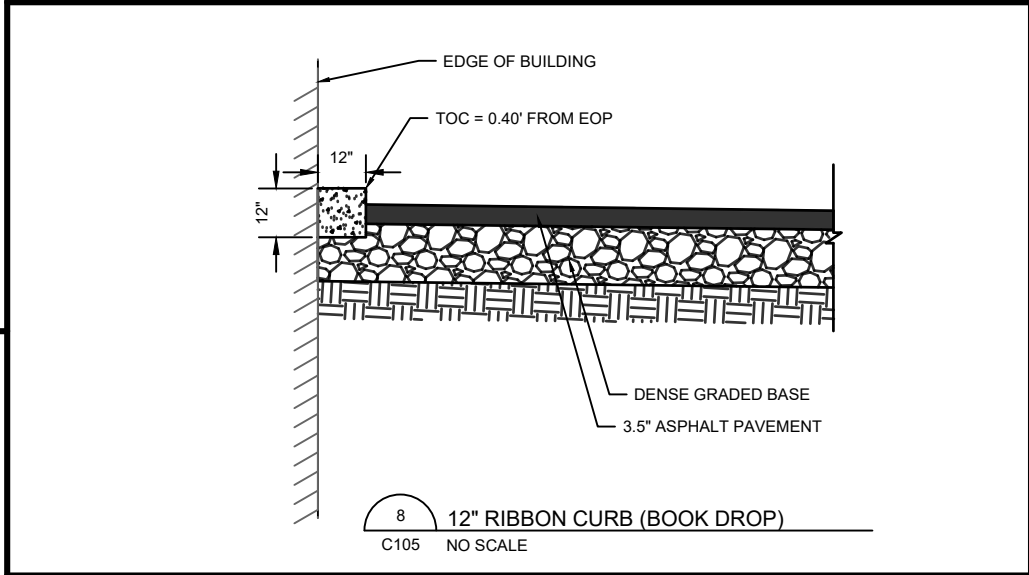
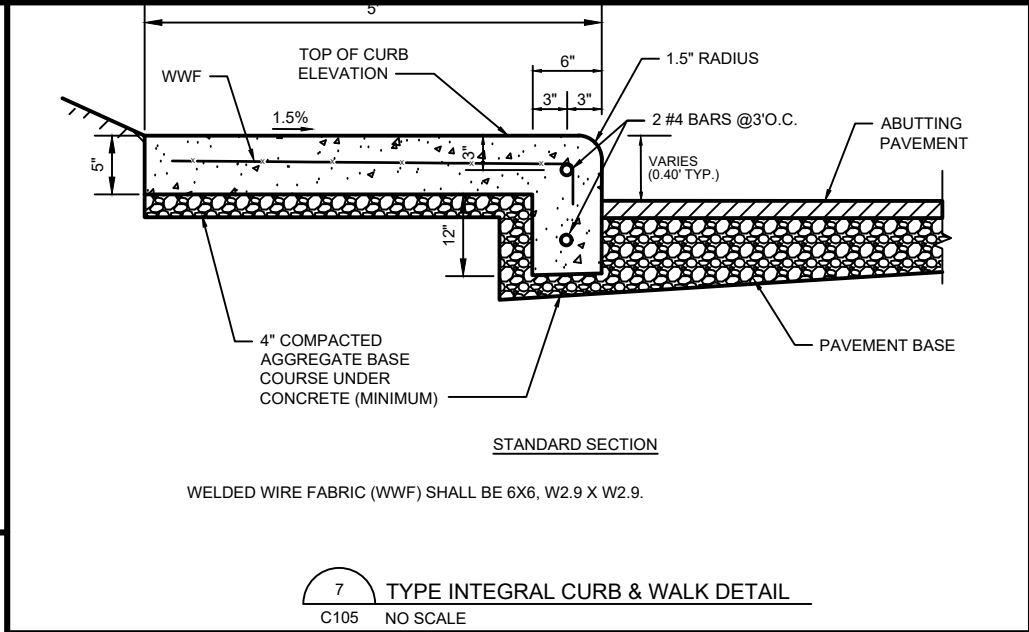
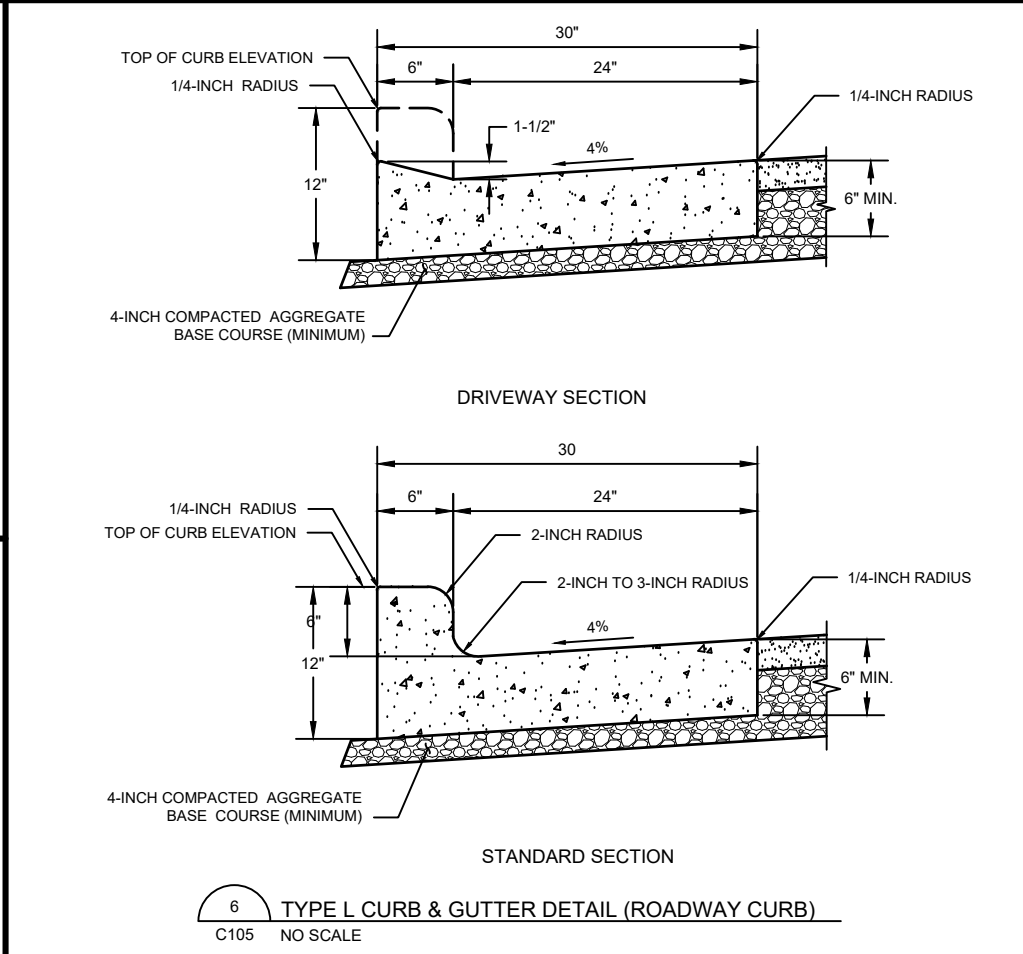
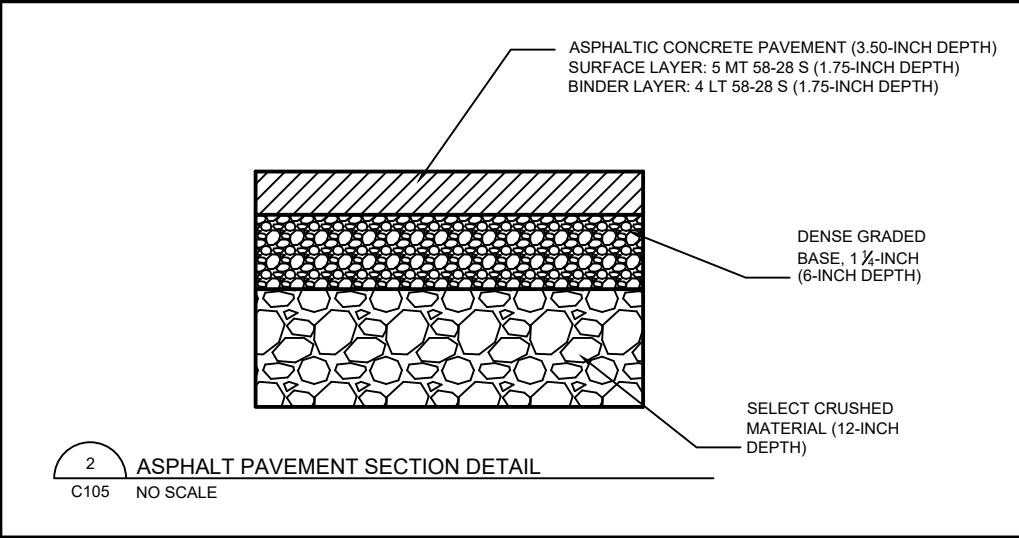
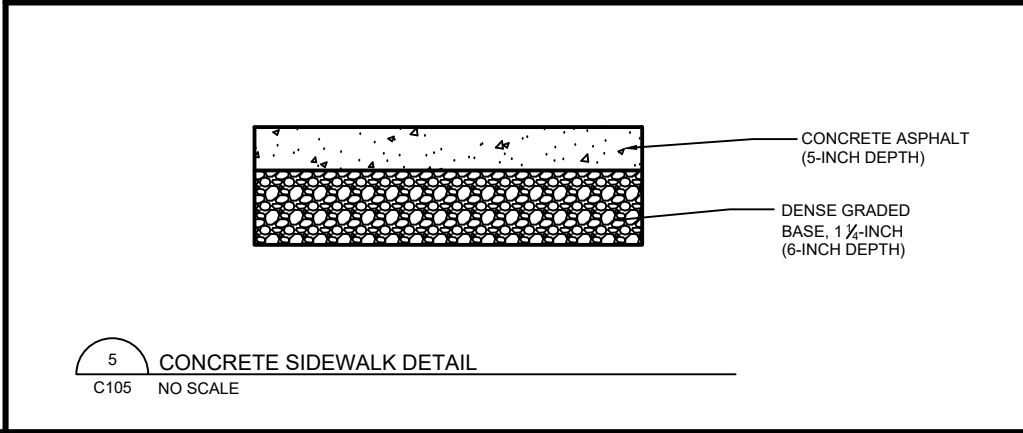
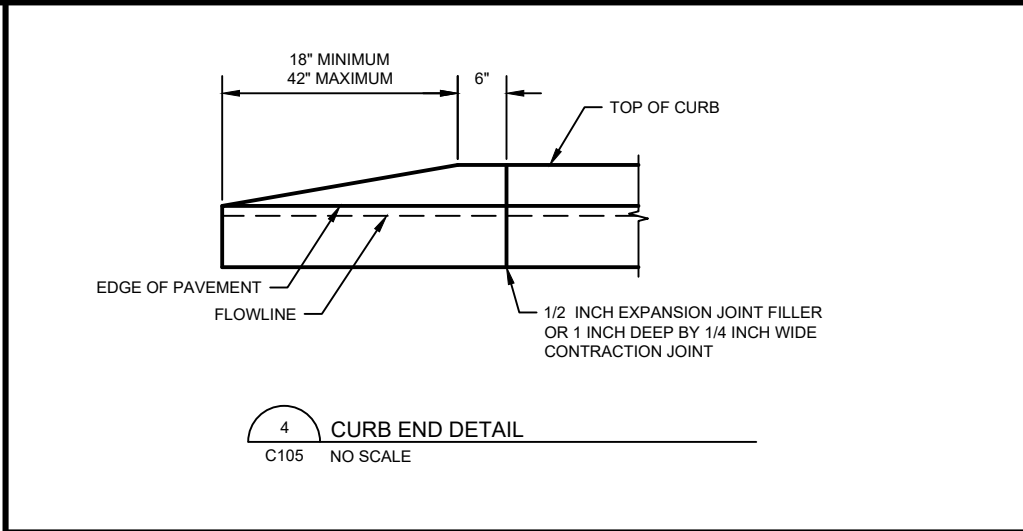
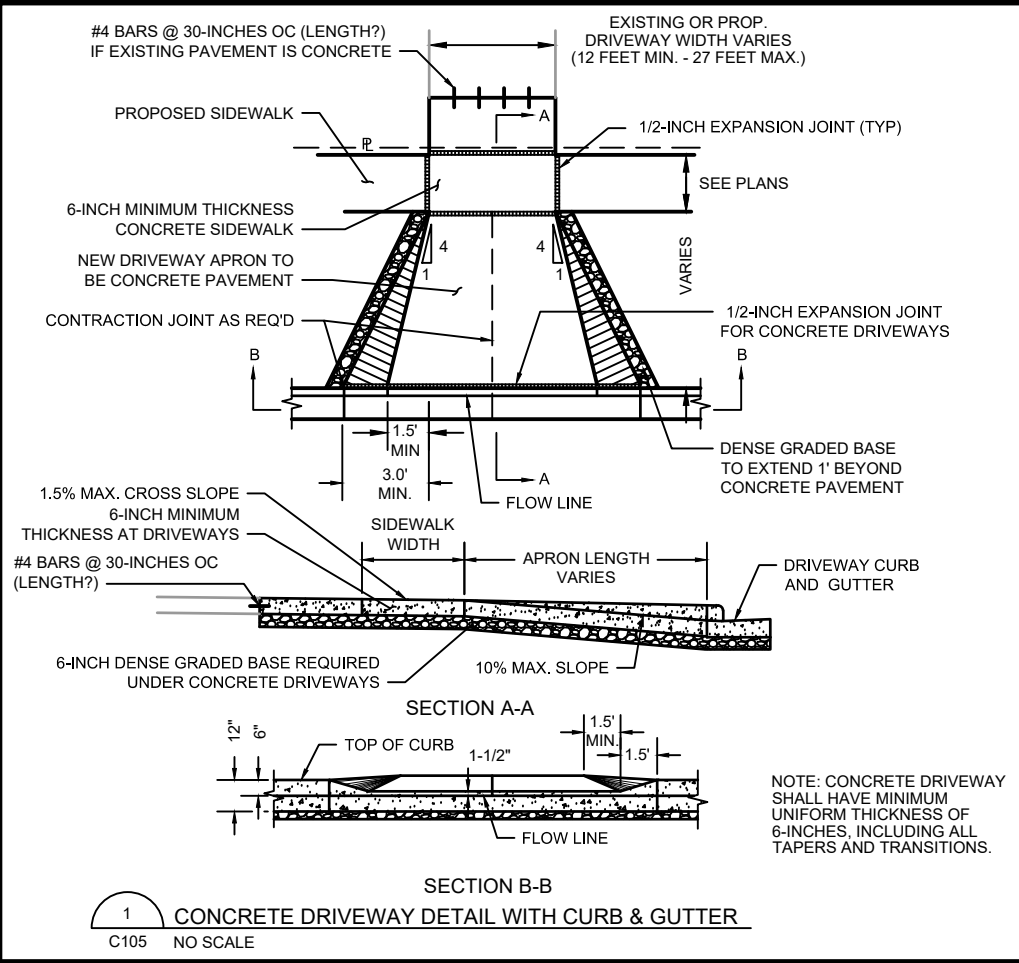
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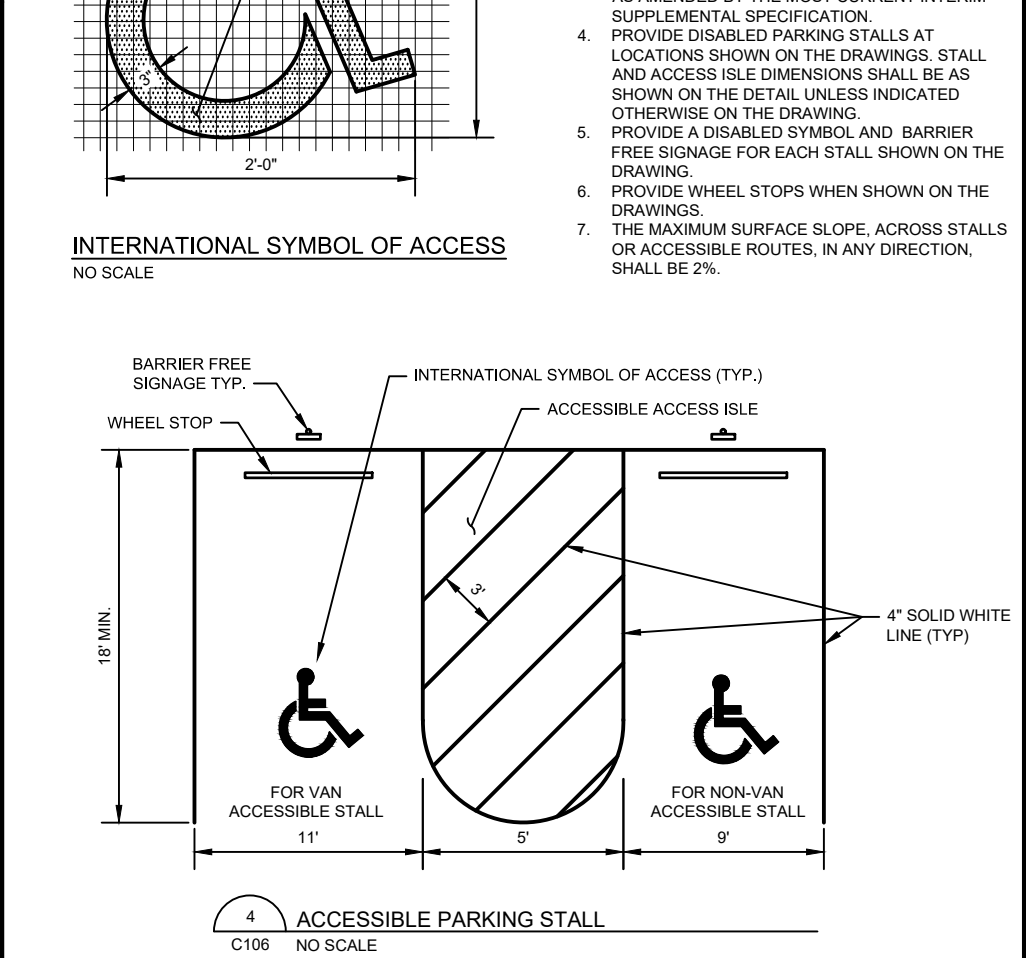
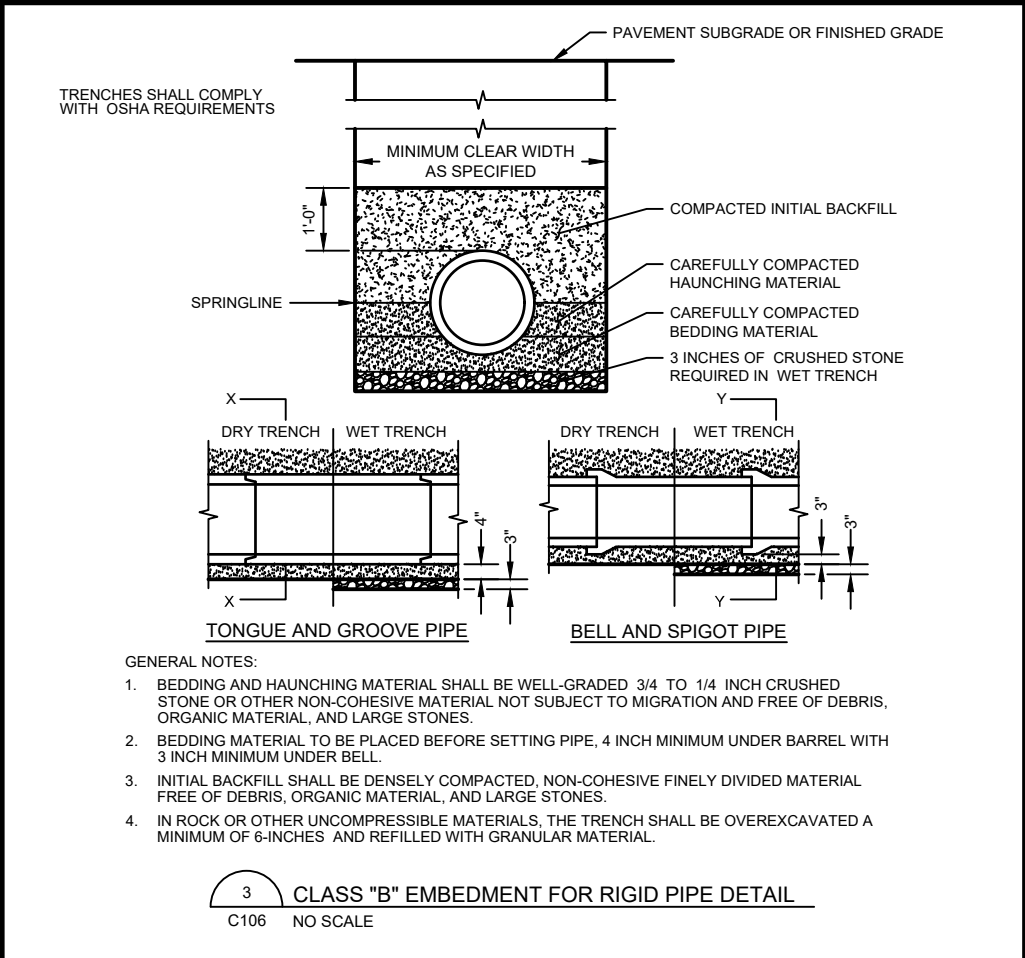
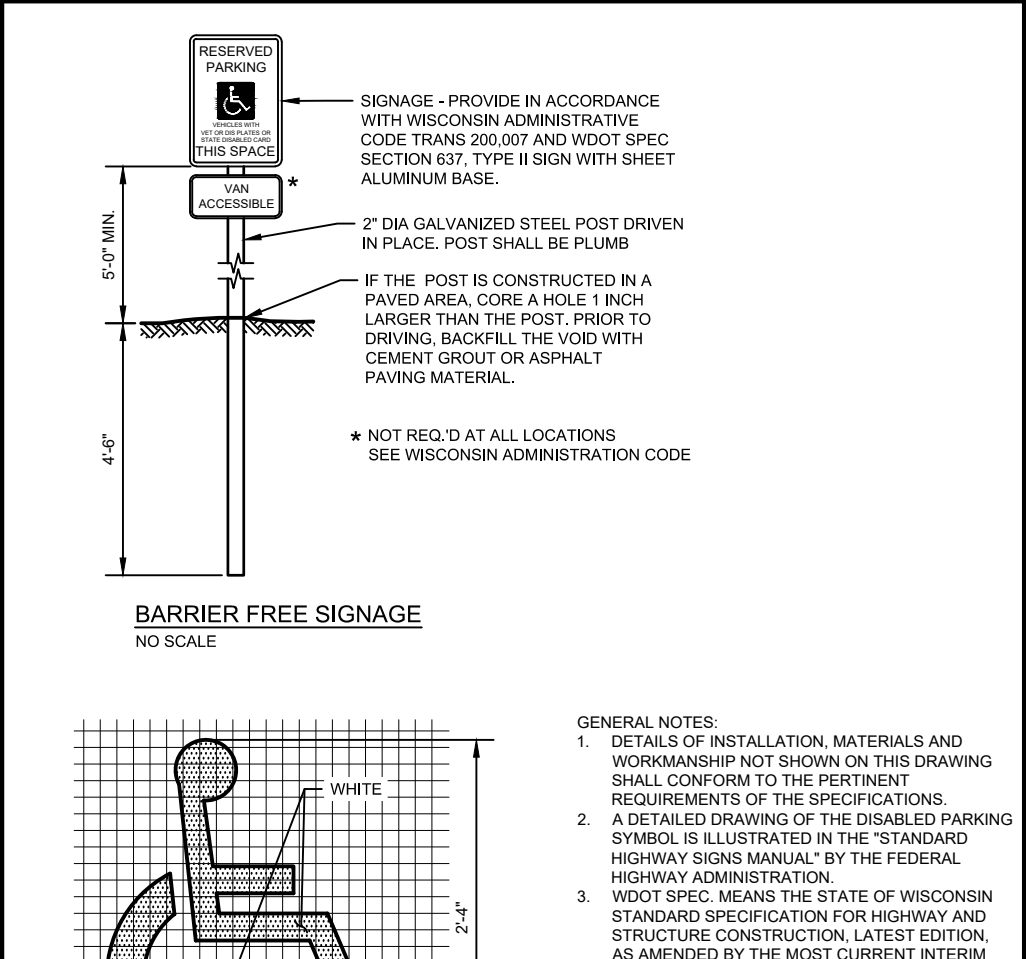
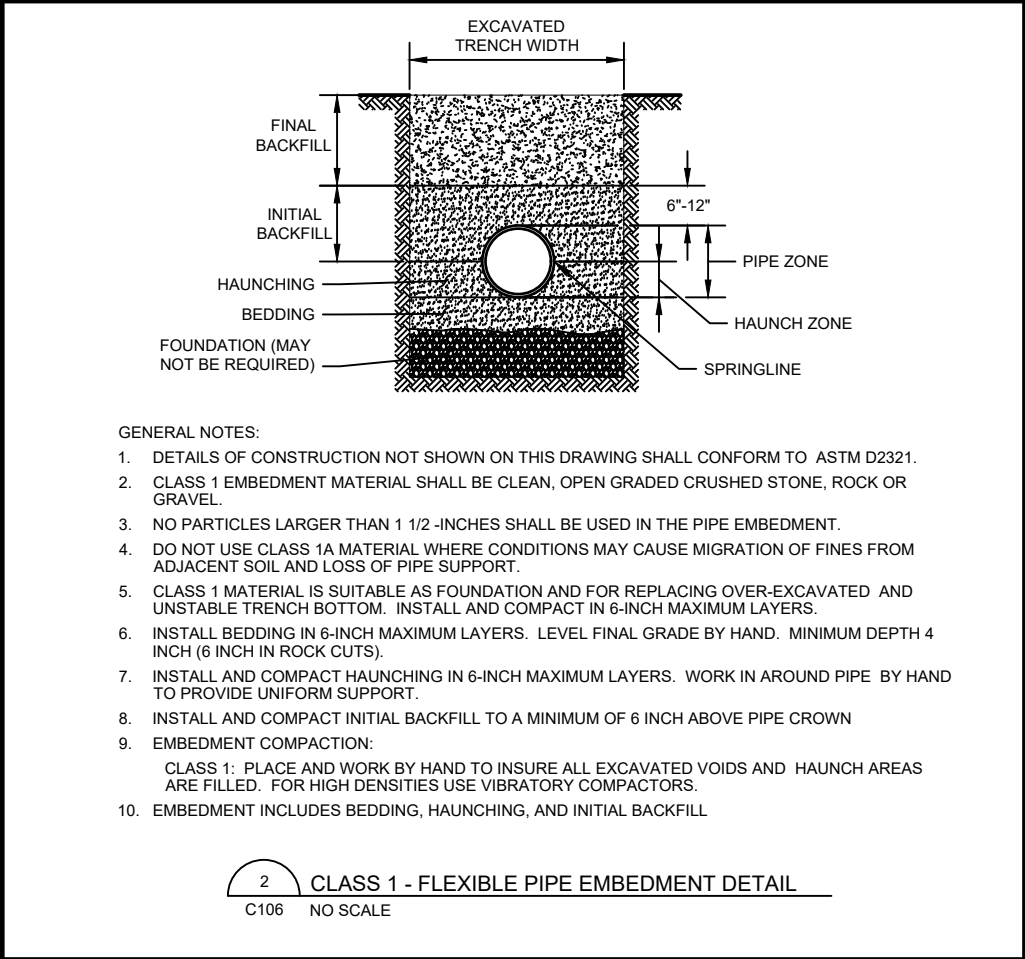
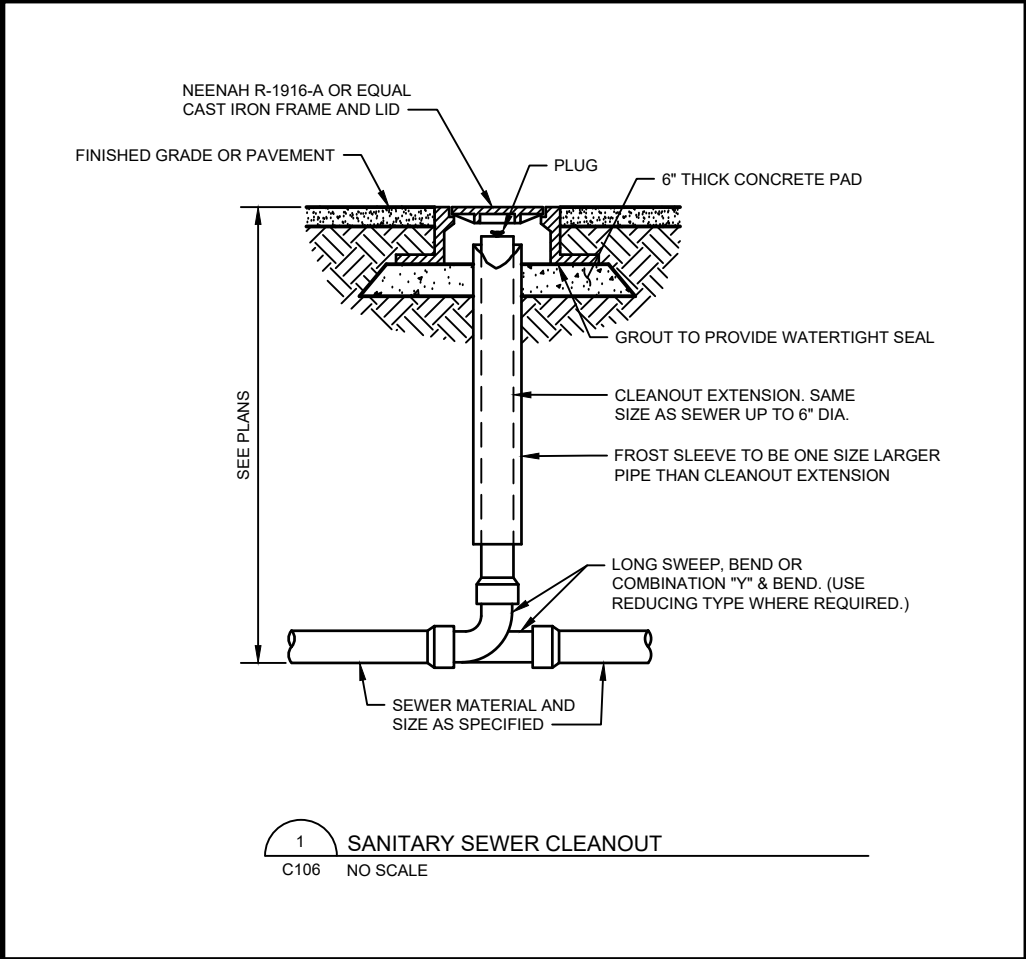
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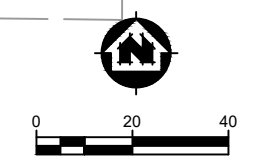
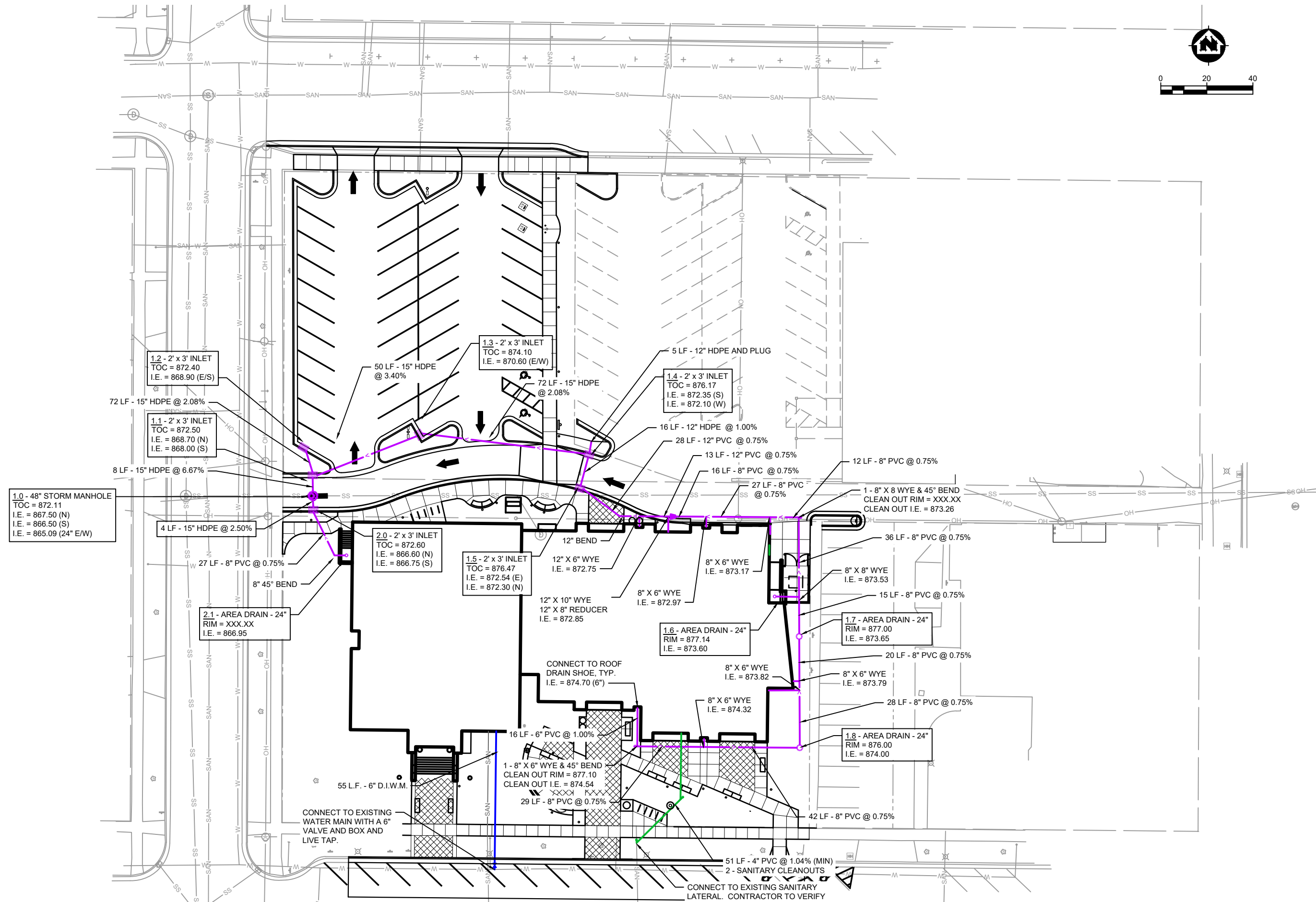
**STANDARD DETAILS**

PROJECT NO:  
18603000  
SHEET  
C106



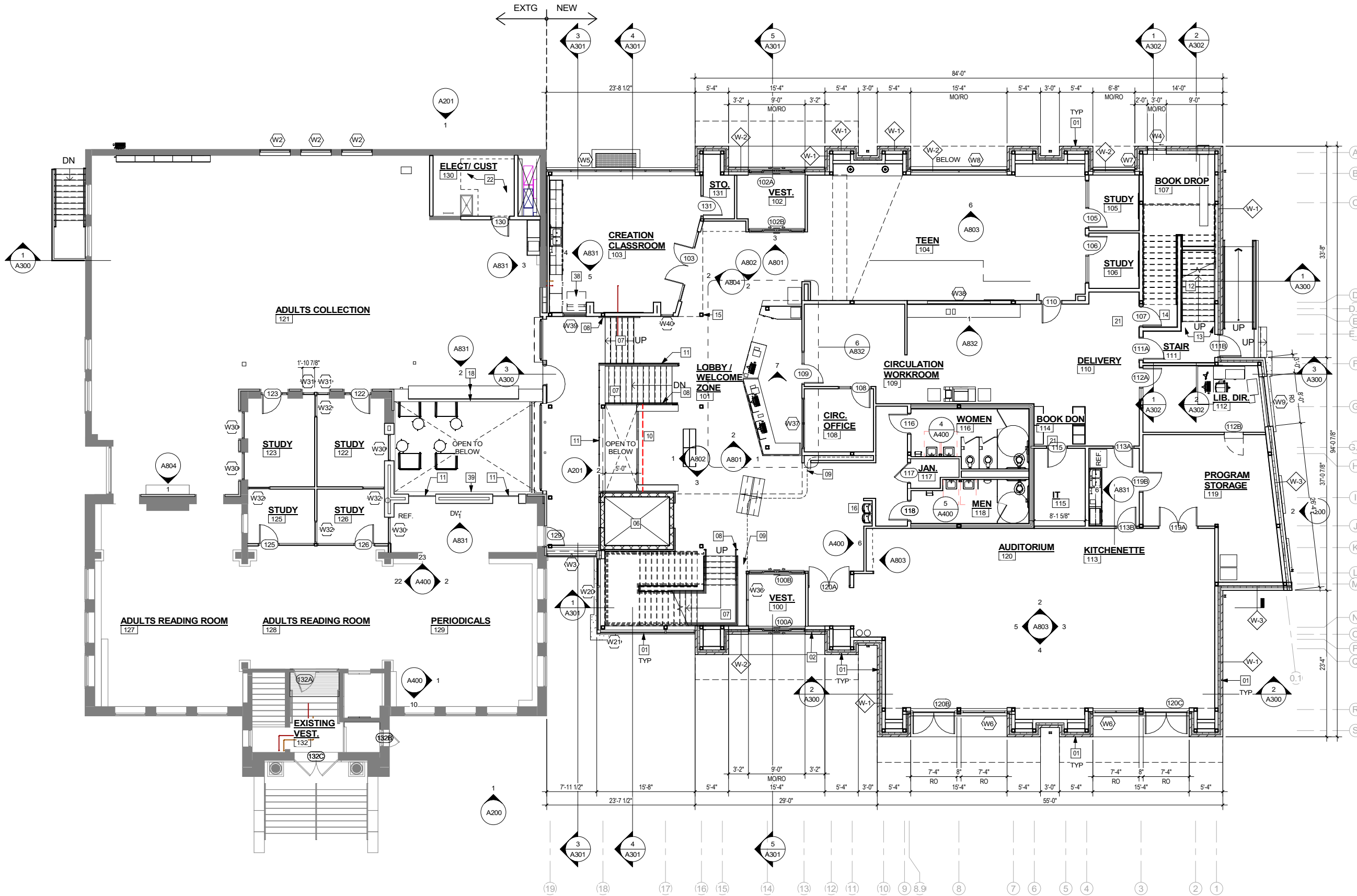








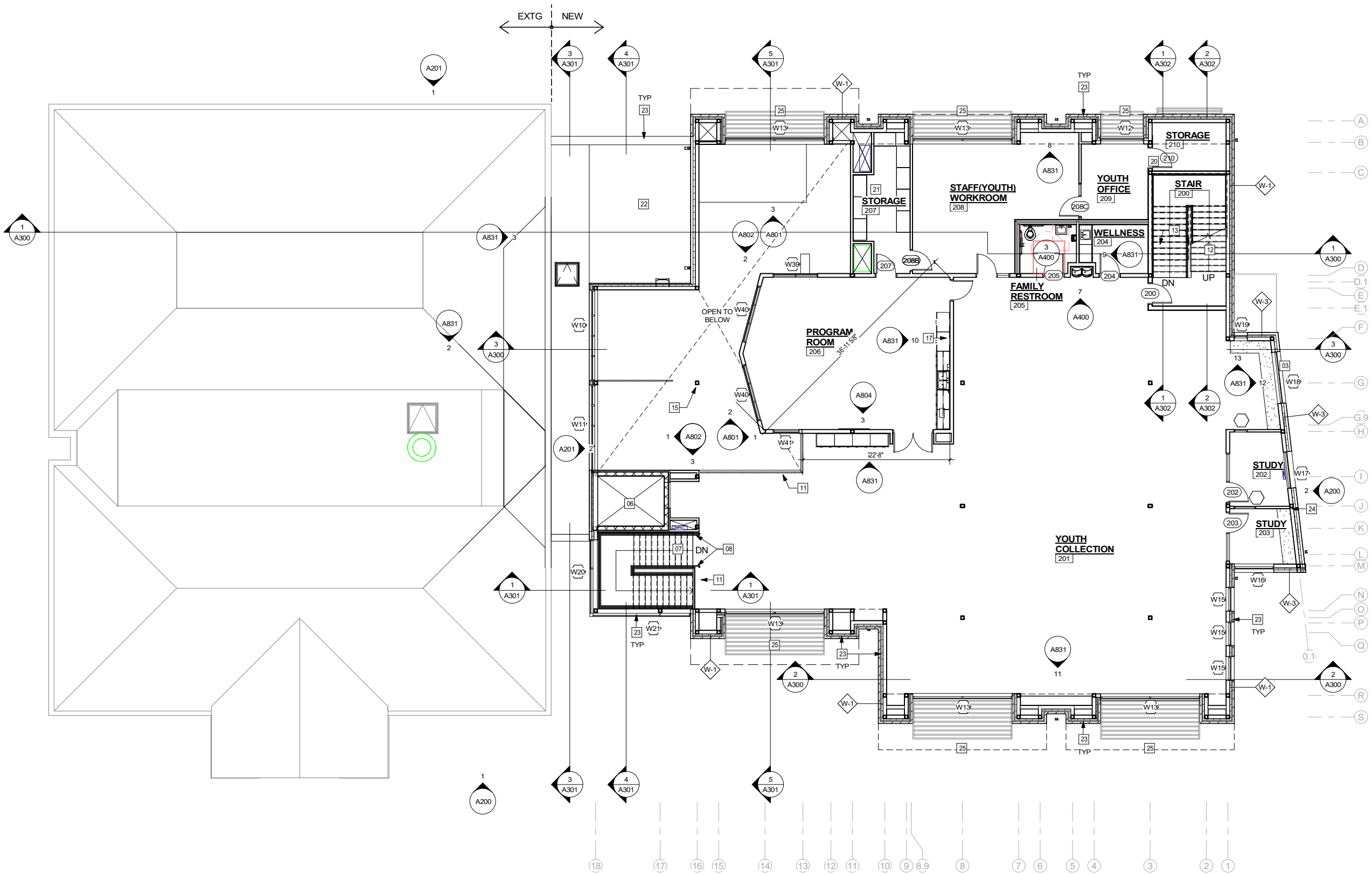




KEYNOTE LEGEND - PLANS	
Sheet Note #	Description
01	BRICK VENEER WALL ASSEMBLY WA-1 WITH MASONRY VENEER WALL ASSEMBLY WA-2 WATER TABLE, REFER TO BUILDING ELEVATIONS
02	MASONRY VENEER WALL ASSEMBLY WA-2, REFER TO BUILDING ELEVATIONS
06	HYDRAULIC MACHINE ROOMLESS ELEVATOR
07	METAL STAIR WITH TERRAZZO TREADS AND RISERS
08	STAINLESS STEEL HANDRAIL, TYP
09	PERFORATED METAL SLIDING DOOR WITH OVERHEAD TRACK AND HARDWARE
10	SOLID WOOD FLOORING & PLANK STEPS
11	GLASS RAILING WITH STAINLESS STEEL CAP
12	METAL STAIR
13	PAINTED METAL HANDRAIL
14	CONCRETE RAMP BELOW STAIR
15	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING, TYP AT EXPOSED STEEL
16	WATER FOUNTAIN
17	STAINED WOOD CABINETS WITH QUARTZ COUNTERTOP
18	LOW WALL WITH SOLID SURFACE COUNTERTOP
20	HOLLOW METAL FRAME WITH GLASS SIDE LITE
21	METAL STORAGE SHELVING
22	AREA OF NEW FLOOR TO INFILL OLD STAIR OPENING
23	BRICK VENEER WALL ASSEMBLY WA-1 WITH PREFINISHED STANDING SEAM METAL PANEL WALL ASSEMBLY WA-3 ABOVE, REFER TO BUILDING ELEVATIONS
24	PREFINISHED STANDING SEAM METAL PANEL WALL ASSEMBLY WA-3, REFER TO BUILDING ELEVATIONS
25	METAL SUN SHADE AWNING
26	EXISTING ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING
27	PLASTIC LAMINATE COUNTERTOP
28	MODIFIED BITUMINOUS SHEET WATER PROOFING WITH FILTER FABRIC AND DRAINAGE BOARD TYPICAL BELOW GRADE
29	BENTONITE WATERPROOFING AT ELEVATOR PIT BELOW GRADE
30	LADDER & SUMP PIT AT ELEVATOR PIT
31	ACOUSTIC CMU WALL SEPARATION
32	POLYURETHANE WATERPROOFING COATING SYSTEM AT FLOOR WITH INTEGRAL COVE BASE
33	METAL ROOF HATCH ABOVE WITH INTEGRATED LADDER AND RAILING
34	METAL LOUVER SYSTEM, REFER TO BUILDING ELEVATIONS
35	CONCRETE STAIR, REFERENCE CIVIL DRAWINGS
36	RETAINING WALL, REFERENCE CIVIL DRAWINGS
37	FIBER OPTIC SERVICE TO REMAIN
38	PERPENDICULAR FOLDER ROOF ACCESS LADDER TO 3x3' ROOF HATCH ABOVE
39	GLASS RAILING WITH STAINLESS STEEL CAP

**1 LEVEL 1 FLOOR PLAN**  
1/8" = 1'-0" (22"x34")  
1/16" = 1'-0" (11"x17")

KEYNOTE LEGEND - PLANS	
Sheet Note #	Description
01	BRICK VENEER WALL ASSEMBLY WA-1 WITH MASONRY VENEER WALL ASSEMBLY WA-2 WATER TABLE, REFER TO BUILDING ELEVATIONS
02	MASONRY VENEER WALL ASSEMBLY WA-2, REFER TO BUILDING ELEVATIONS
06	HYDRAULIC MACHINE ROOMLESS ELEVATOR
07	METAL STAIR WITH TERRAZZO TREADS AND RISERS
08	STAINLESS STEEL HANDRAIL, TYP
09	PERFORATED METAL SLIDING DOOR WITH OVERHEAD TRACK AND HARDWARE
10	SOLID WOOD FLOORING & PLANK STEPS
11	GLASS RAILING WITH STAINLESS STEEL CAP
12	METAL STAIR
13	PAINTED METAL HANDRAIL
14	CONCRETE RAMP BELOW STAIR
15	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING, TYP AT EXPOSED STEEL
16	WATER FOUNTAIN
17	STAINED WOOD CABINETS WITH QUARTZ COUNTERTOP
18	LOW WALL WITH SOLID SURFACE COUNTERTOP
20	HOLLOW METAL FRAME WITH GLASS SIDE LITE
21	METAL STORAGE SHELVING
22	AREA OF NEW FLOOR TO INFILL OLD STAIR OPENING
23	BRICK VENEER WALL ASSEMBLY WA-1 WITH PREFINISHED STANDING SEAM METAL PANEL WALL ASSEMBLY WA-3 ABOVE, REFER TO BUILDING ELEVATIONS
24	PREFINISHED STANDING SEAM METAL PANEL WALL ASSEMBLY WA-3, REFER TO BUILDING ELEVATIONS
25	METAL SUN SHADE AWNING
26	EXISTING ARCHITECTURALLY EXPOSED STRUCTURAL STEEL FRAMING
27	PLASTIC LAMINATE COUNTERTOP
28	MODIFIED BITUMINOUS SHEET WATER PROOFING WITH FILTER FABRIC AND DRAINAGE BOARD TYPICAL BELOW GRADE
29	BENTONITE WATERPROOFING AT ELEVATOR PIT BELOW GRADE
30	LADDER & SUMP PIT AT ELEVATOR PIT
31	ACOUSTIC CMU WALL SEPARATION
32	POLYURETHANE WATERPROOFING COATING SYSTEM AT FLOOR WITH INTEGRAL COVE BASE
33	METAL ROOF HATCH ABOVE WITH INTEGRATED LADDER AND RAILING
34	METAL LOUVER SYSTEM, REFER TO BUILDING ELEVATIONS
35	CONCRETE STAIR, REFERENCE CIVIL DRAWINGS
36	RETAINING WALL, REFERENCE CIVIL DRAWINGS
37	FIBER OPTIC SERVICE TO REMAIN
38	PERPENDICULAR FOLDER ROOF ACCESS LADDER TO 3x3' ROOF HATCH ABOVE
39	GLASS RAILING WITH STAINLESS STEEL CAP



**1 LEVEL 2 FLOOR PLAN**  
1/8" = 1'-0" (22"x34")  
1/16" = 1'-0" (11"x17")

PROJECT DATE: AUGUST 13, 2020		DRAWN BY: Author	No	DATE	REVISIONS		BY
		DESIGNED BY: Designer			PRELIMINARY		
		CHECKED BY: Checker					
PLOT DATE: 11/11/2020 11:17:43 AM BIM 360://18603000 - Baraboo Public Library/18603000 - Baraboo Public Library_R2020.rvt							

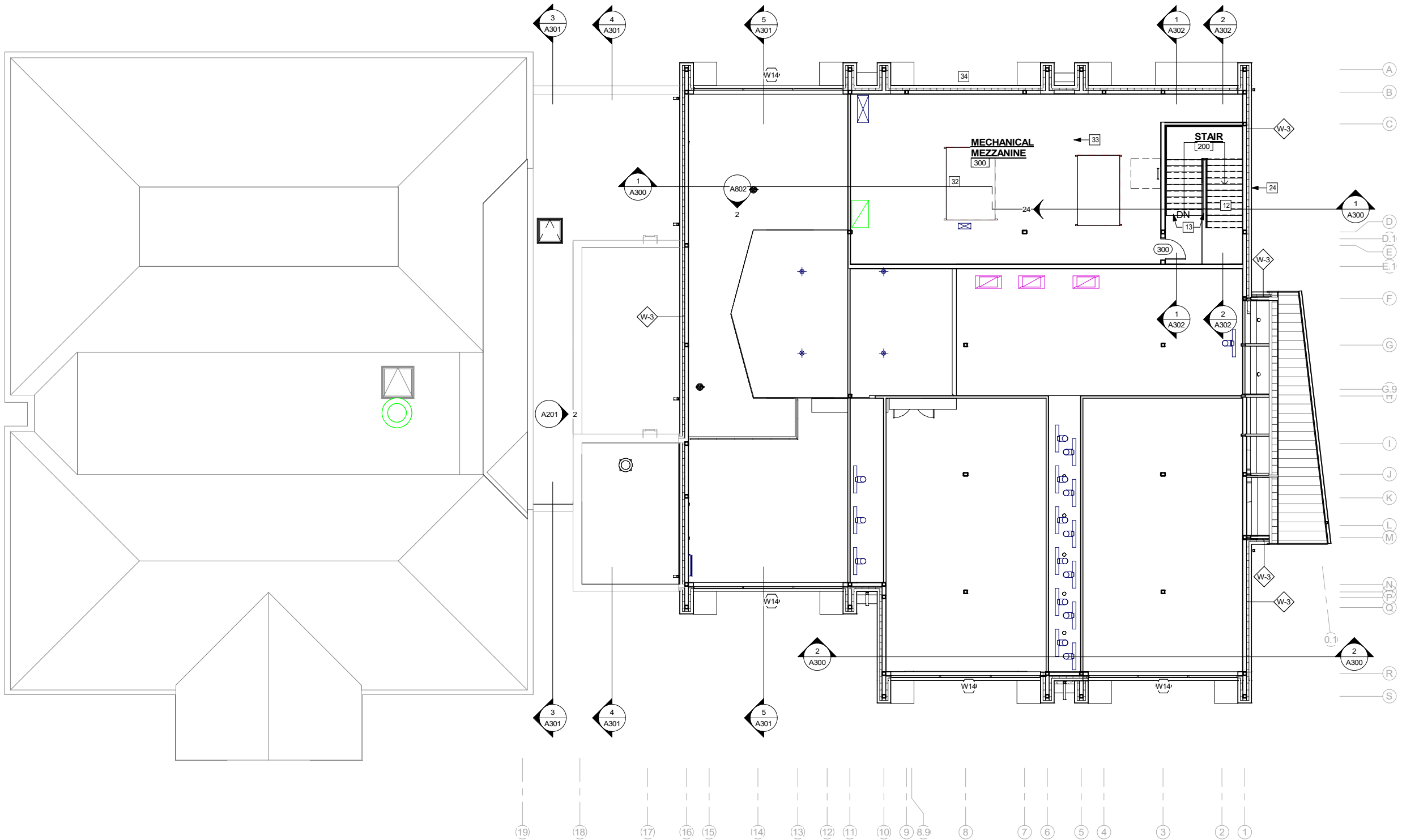


**CARNEGIE-SCHADDE MEMORIAL LIBRARY**  
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**LEVEL 2 FLOOR PLAN**

PROJECT NO.	18603000
SHEET	A103

KEYNOTE LEGEND - PLANS	
Sheet Note #	Description
01	BRICK VENEER WALL ASSEMBLY WA-1 WITH MASONRY VENEER WALL ASSEMBLY WA-2 WATER TABLE, REFER TO BUILDING ELEVATIONS
02	MASONRY VENEER WALL ASSEMBLY WA-2, REFER TO BUILDING ELEVATIONS
06	HYDRAULIC MACHINE ROOMLESS ELEVATOR
07	METAL STAIR WITH TERRAZZO TREADS AND RISERS
08	STAINLESS STEEL HANDRAIL, TYP
09	PERFORATED METAL SLIDING DOOR WITH OVERHEAD TRACK AND HARDWARE
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14	CONCRETE RAMP BELOW STAIR
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25	METAL SUN SHADE AWNING
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37	FIBER OPTIC SERVICE TO REMAIN
38	PERPENDICULAR FOLDER ROOF ACCESS LADDER TO 3'x3' ROOF HATCH ABOVE
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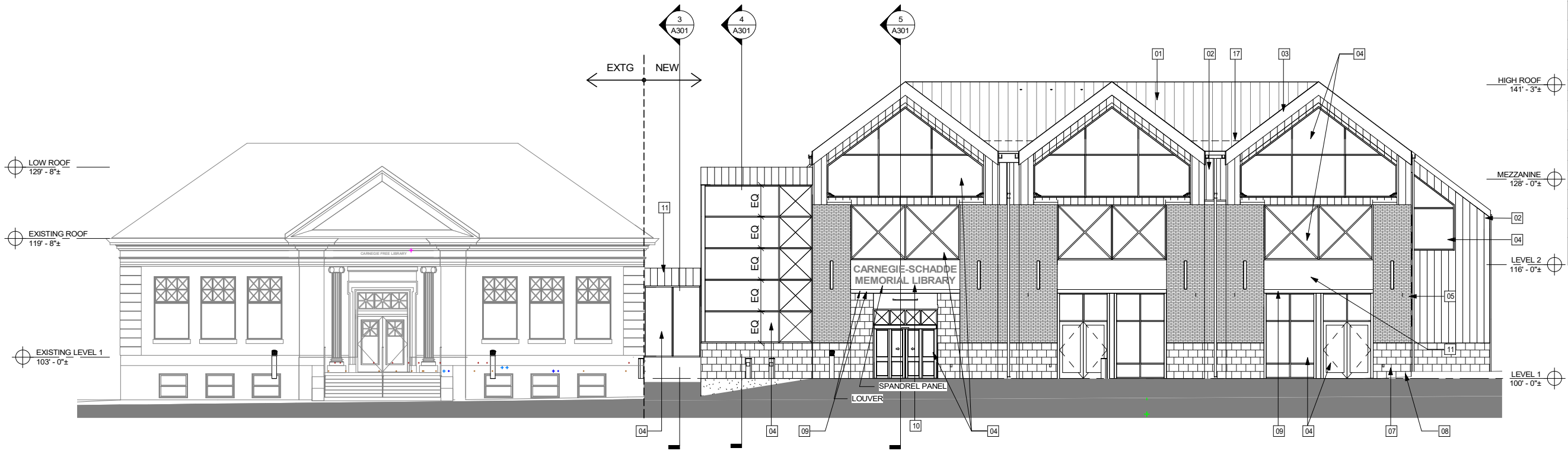


**MECHANICAL MEZZANINE**  
2 A104  
1/8" = 1'-0" (22"x34")  
1/16" = 1'-0" (11"x17")

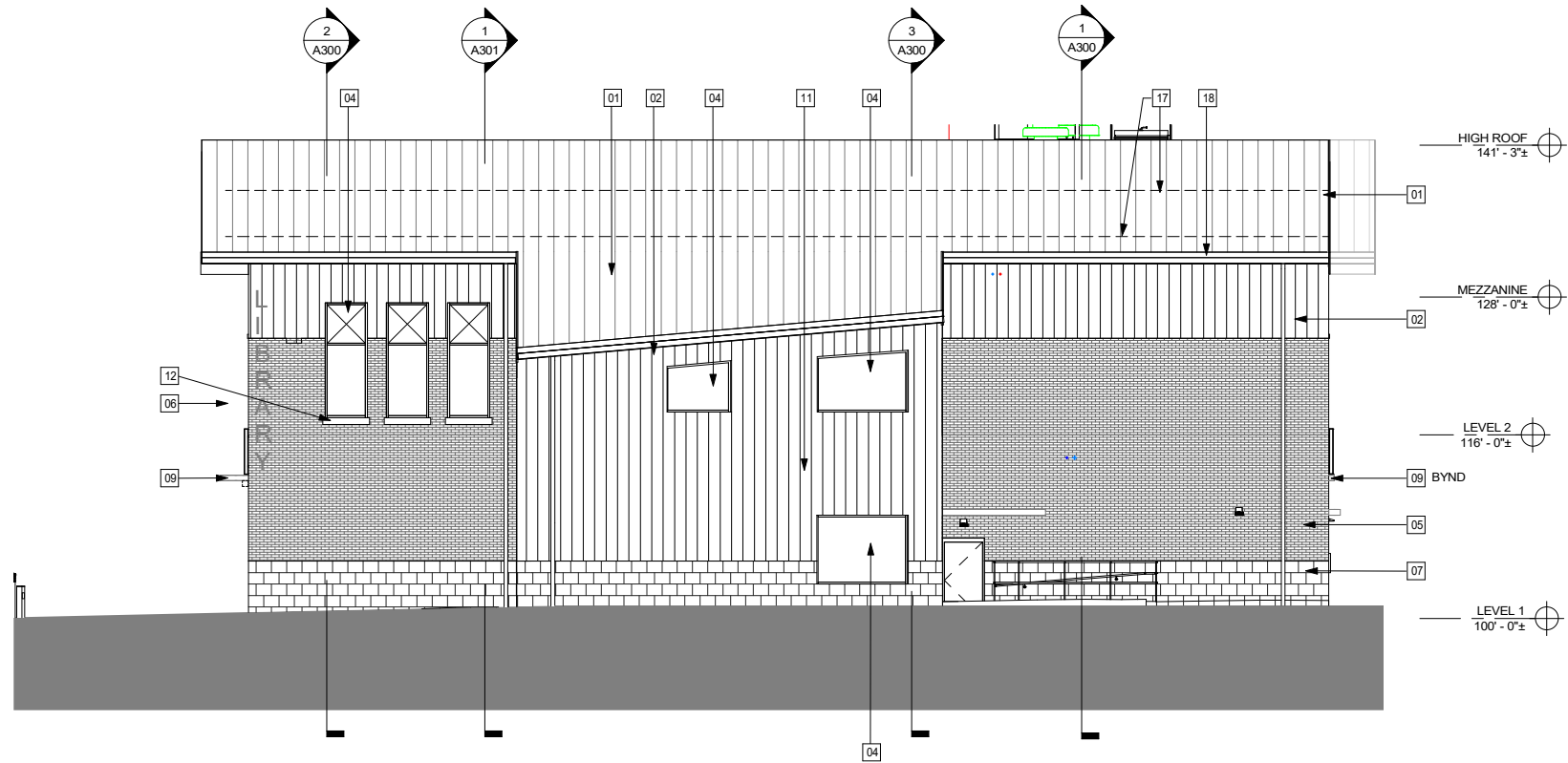


KEYNOTE LEGEND - BUILDING ELEVATIONS

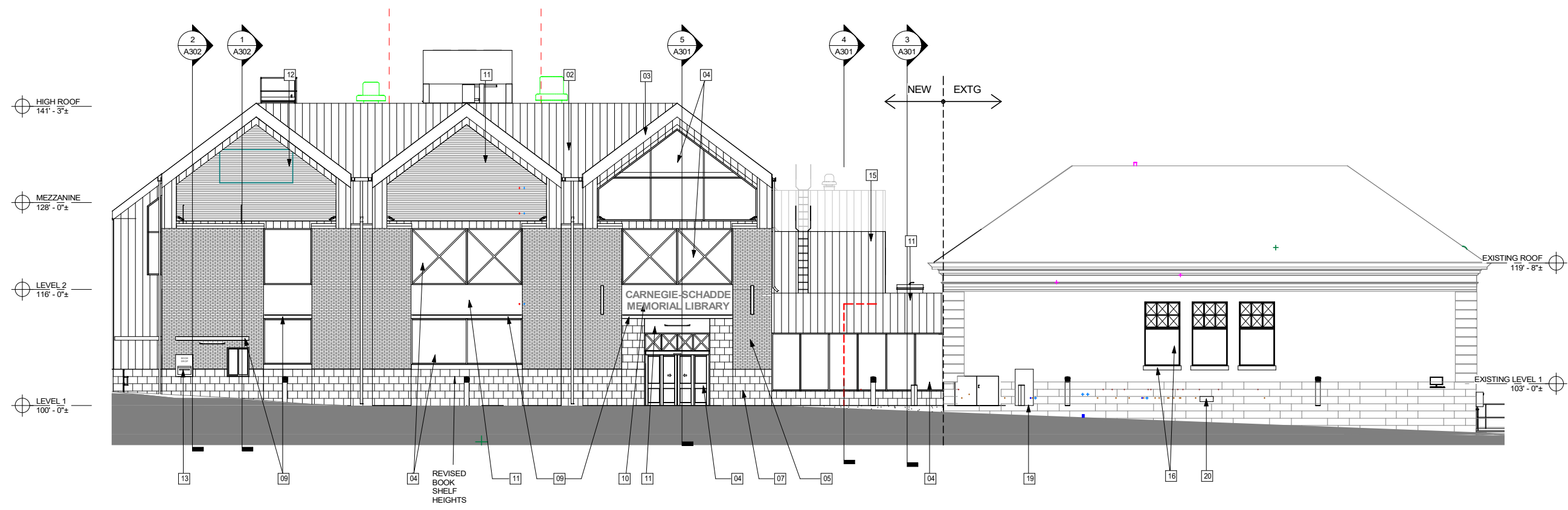
Sheet Note #	Description
01	PREFINISHED STANDING SEAM METAL ROOF SYSTEM RA-2
02	PREFINISHED STANDING SEAM METAL - WALL ASSEMBLY W-3
03	METAL ROOF FASCIA SYSTEM
04	STOREFRONT GLAZING SYSTEM
05	BRICK VENEER - WALL ASSEMBLY W-1
06	18" HIGH LETTERS
07	MASONRY VENEER - WALL ASSEMBLY W-2
08	CONCRETE COLUMN BASE
09	METAL SUN SHADE AWNING
10	12" HIGH METAL SIGNAGE, CENTERED ON METAL PANEL
11	METAL PANEL SYSTEM - WALL ASSEMBLY W-5
12	CAST STONE WINDOW SILL, TYP
13	BOOK DROP SYSTEM
15	MEMBRANE ROOF SYSTEM RA-1
16	NEW WINDOW AND CAST STONE SILL TO MATCH EXISTING, TYP OF (3)
17	DASHED LINE INDICATES LOCATION OF SNOW GUARD, REFER TO ROOF PLAN
18	GUTTER SYSTEM
19	CT CABINET - SEE ELECTRICAL. PROVIDE BACKER ROD AND SEALANT AT GAP.
20	INFILL EXISTING BOOK DROP OPENING WITH CAST STONE, PARGED, AND COATED TO MATCH EXISTING WAINSCOT



1 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0" (22"x34")  
1/16" = 1'-0" (11"x17")

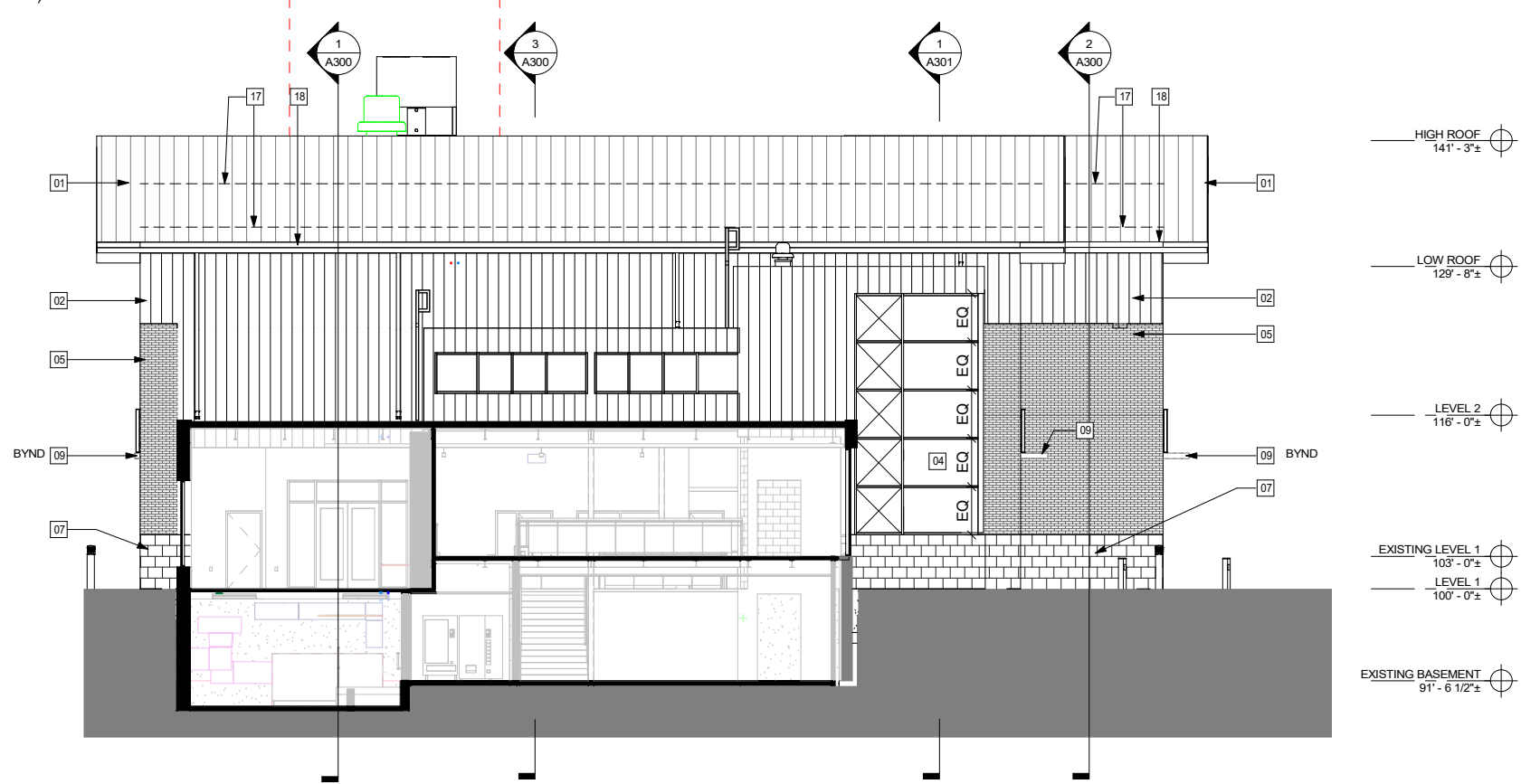


2 EAST EXTERIOR ELEVATION  
1/8" = 1'-0" (22"x34")  
1/16" = 1'-0" (11"x17")

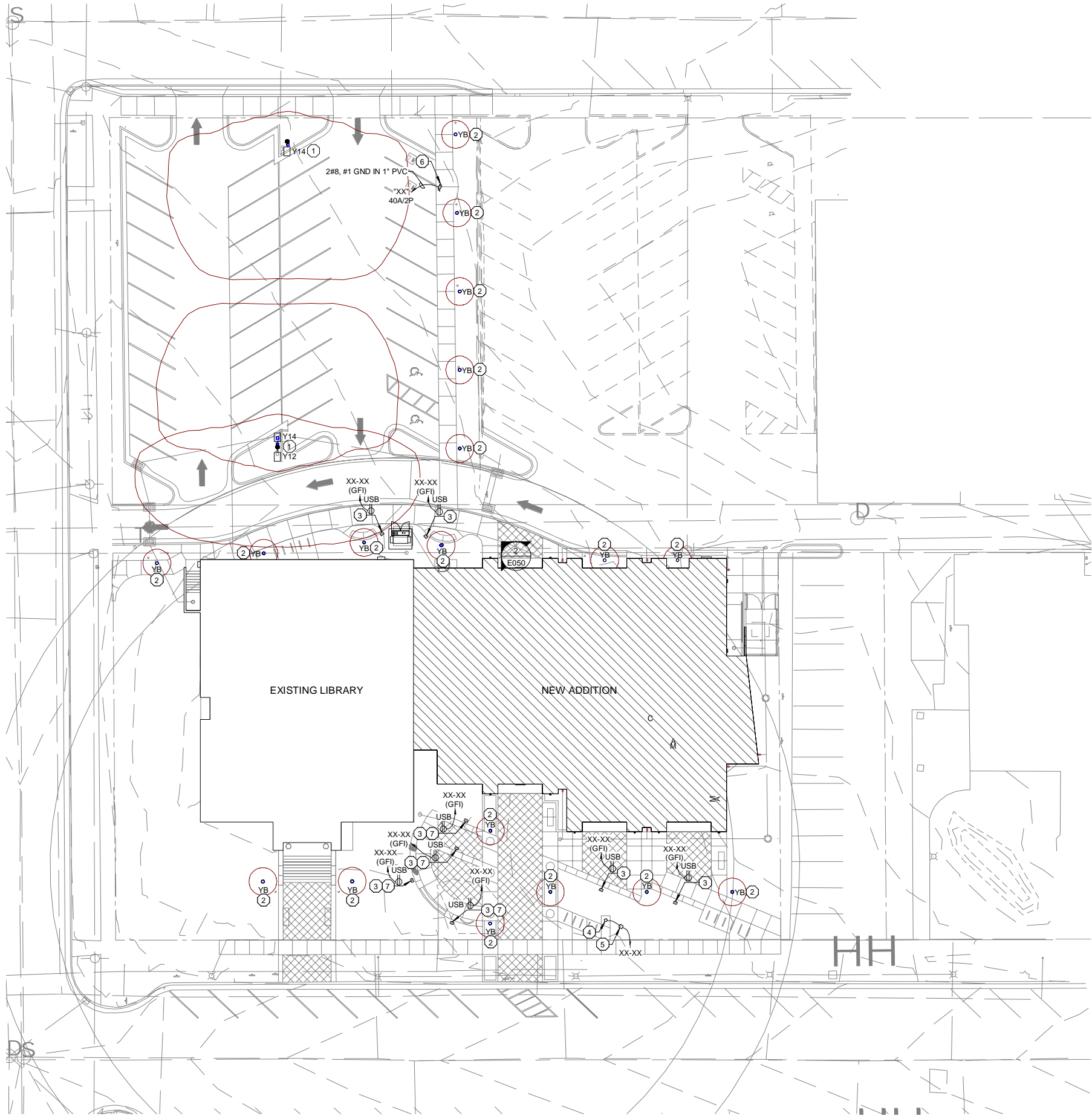


KEYNOTE LEGEND - BUILDING ELEVATIONS	
Sheet Note #	Description
01	PREFINISHED STANDING SEAM METAL ROOF SYSTEM RA-2
02	PREFINISHED STANDING SEAM METAL - WALL ASSEMBLY W-3
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18	GUTTER SYSTEM
19	CT CABINET - SEE ELECTRICAL. PROVIDE BACKER ROD AND SEALANT AT GAP.
20	INFILL EXISTING BOOK DROP OPENING WITH CAST STONE, PARGED, AND COATED TO MATCH EXISTING WAINSCOT

1 NORTH EXTERIOR ELEVATION  
A201  
1/8" = 1'-0" (22"x34")  
1/16" = 1'-0" (11"x17")



2 WEST EXTERIOR ELEVATION  
A201  
1/8" = 1'-0" (22"x34")  
1/16" = 1'-0" (11"x17")



1  
E050  
1\" = 20'-0\" REFERRED FROM:

**ELECTRICAL SITE PLAN**

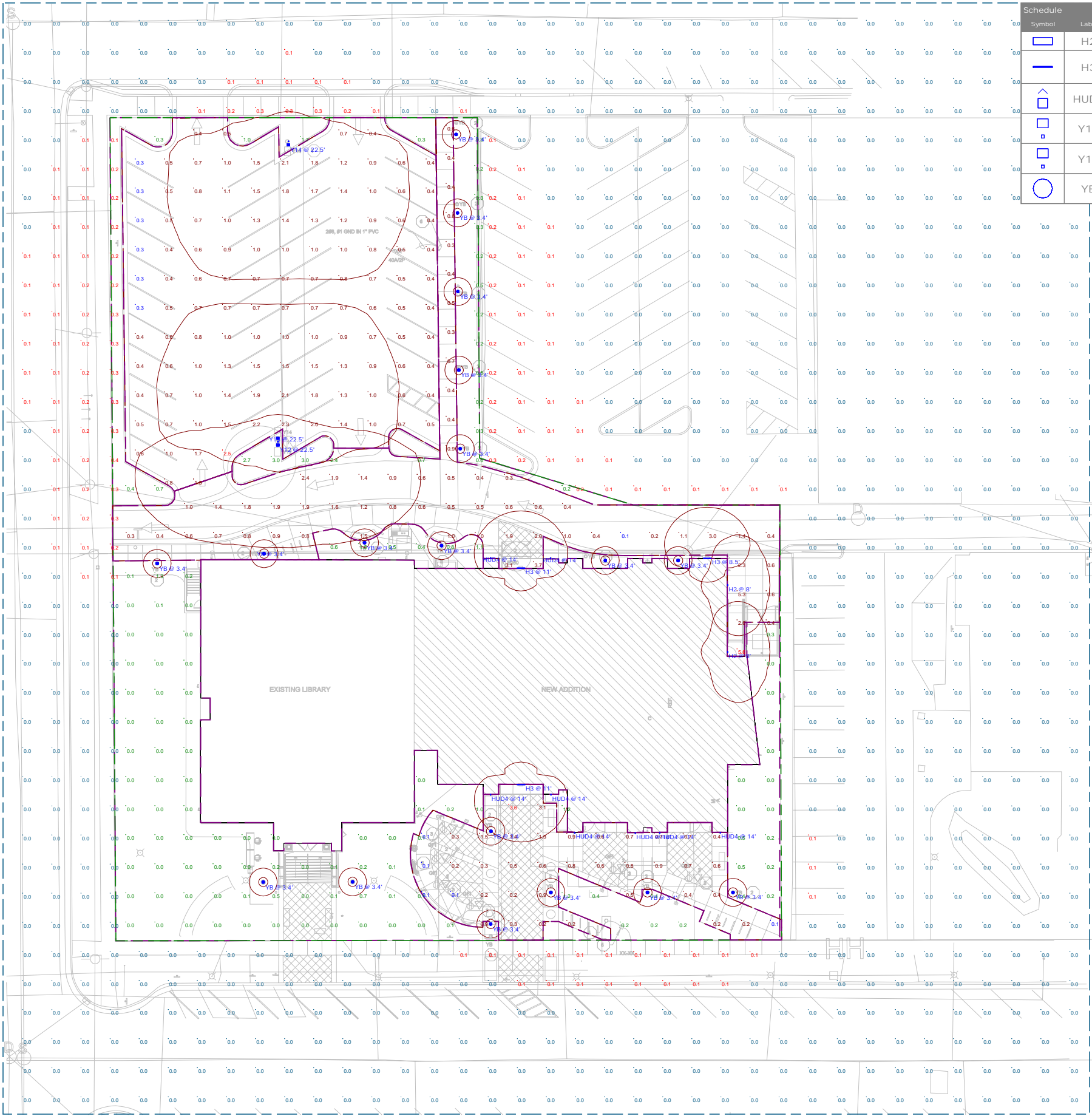
- GENERAL NOTES:**
- A. UNLESS SHOWN OTHERWISE, ALL WIRING SHOWN IS (2)#10 AND #10 GROUND IN 1\" PVC.
  - B. INSTALL PULL CORD IN ALL EMPTY CONDUITS.
  - C. UNLESS SHOWN OTHERWISE, ALL CONDUITS BURIED 2'-6\" BELOW FINISHED GRADE.
  - D. PROVIDE SITE LIGHTING CONTROL PANEL PER DETAIL <sup>6</sup>/<sub>E401</sub>.
  - E. E.C. IS RESPONSIBLE FOR ALL WORK REQUIRED TO BRING SITE EXCAVATION AND TOPPING BACK TO ORIGINAL CONDITION IF TRENCHING IS DONE ON COMPACTED SURFACES.
- PLAN NOTES:** (X)
- 1. PROVIDE POLE MOUNTED FIXTURE CONCRETE BASE PER DETAIL <sup>3</sup>/<sub>E402</sub>.
  - 2. PROVIDE BOLLARD FIXTURE CONCRETE BASE PER DETAIL <sup>2</sup>/<sub>E402</sub>.
  - 3. PROVIDE POWER PEDISTAL CONCRETE BASE PER DETAIL <sup>1</sup>/<sub>E402</sub>.
  - 4. PROVIDE CONNECTION TO 120V INTERNALLY LITE FLAG POLE BEACON (FBO). PROVIDE ALL NECESSARY FIELD CONNECTIONS FROM FLAG POLE TO WHIP TO AMETEK BOX.
  - 5. LOCATE IN-GROUND AMETEK BOX IN GRASS AREA TO FEED TO FLAG POLE PER DETAIL <sup>5</sup>/<sub>E401</sub>. CONNECT THROUGH (BAS) BUILDING AUTOMATION SYSTEM. ROUTE 2#10, #10 GND IN 1\" PVC BACK TO MECHANICAL ROOM 110 FOR BAS CONTRACTOR. LOCATE CONTACTOR IN NEMA 3R BOX NEAR PANEL 'SC' SEE DETAIL <sup>6</sup>/<sub>E401</sub>.
  - 6. VEHICLE CHARGING STATION CLIPPER CREEK IN #HCS-40-32A EV (0300-000-023) CHARGING STATION SUPPLIED AND INSTALLED BY E.C. PER DETAIL <sup>4</sup>/<sub>E402</sub>.
  - 7. PROVIDE UNDER ALTERNATE BID 1.



2  
E050  
**EXISTING UTILITY POLE**  
SCALE: NTS

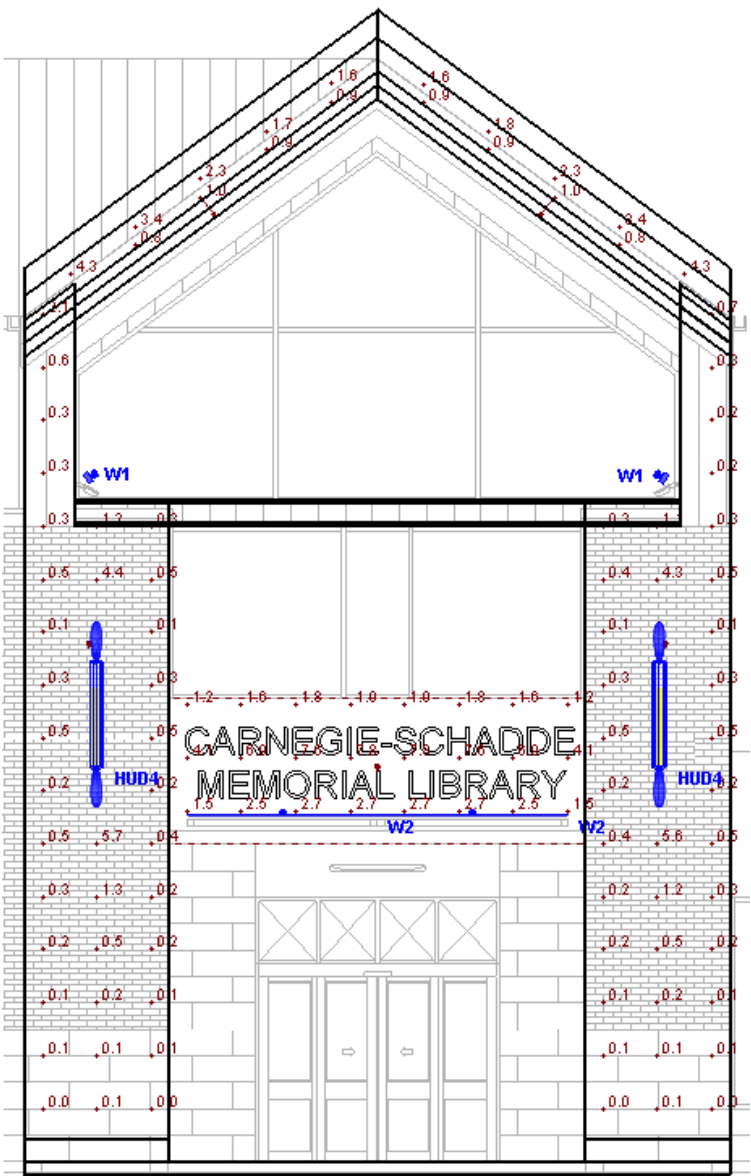
ELECTRICAL SHEET LIST	
Sheet Number	Sheet Name
E050	ELECTRICAL SITE PLAN
E100	BASEMENT FLOOR PLAN - DEMO
E101	FIRST FLOOR PLAN - DEMO
E102	BASEMENT PLANS - ELECTRICAL
E103L	FIRST FLOOR PLAN - LIGHTING
E103P	FIRST FLOOR PLAN - POWER
E104L	SECOND FLOOR PLAN - LIGHTING
E104P	SECOND FLOOR PLAN - POWER
E105	MECHANICAL MEZZANINE & ROOF PLAN - ELECTRICAL
E200	FIRE ALARM PLANS
E201	FIRE ALARM DETAILS
E300	OVERALL FLOOR PLAN - DOOR ACCESS & CCTV
E400	SYMBOLS & DETAILS
E401	DETAILS
E402	DETAILS
E500	ONE LINE DIAGRAM AND SCHEDULES





Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
	H2	2	Barron Lighting Group	WLZ1-3-4K	Black formed metal housing	0.9	15,1239
	H3	3	Luminaire LED	BLD 36IN 15W 40K DP	Catalog Number: BLD36-15W 4000K2 Surface wall mounted, extruded and cast aluminum housing, formed white enamel aluminum reflector, clear lightly frosted plastic enclosure. 108 white LEDs, three Luminaire LED MP-LED-MOD Rev 3.0C boards with 36 LEDs per board. One ULT Everline D700CC30UNVTW-C LED driver labeled as 470mA, 120.0Vdc, 60.00Hz, 0.1316A, 14.68W, 0.929PF, 11.6%THD(I)	0.9	14.7
	HUD4	8	INDESSA LIGHTING	501-1LED19-SAL	OUTDOOR LED LUMINAIRE	0.9	16.78
	Y12	1	Lithonia Lighting	DSX1 LED P1 50K T2S MVOLT	DSX1 LED P1 50K T2S MVOLT	0.9	54
	Y14	2	Lithonia Lighting	DSX1 LED P2 50K T4M MVOLT HS	DSX1 LED P2 50K T4M MVOLT with houseside shield	0.9	70
	YB	18				0.9	31

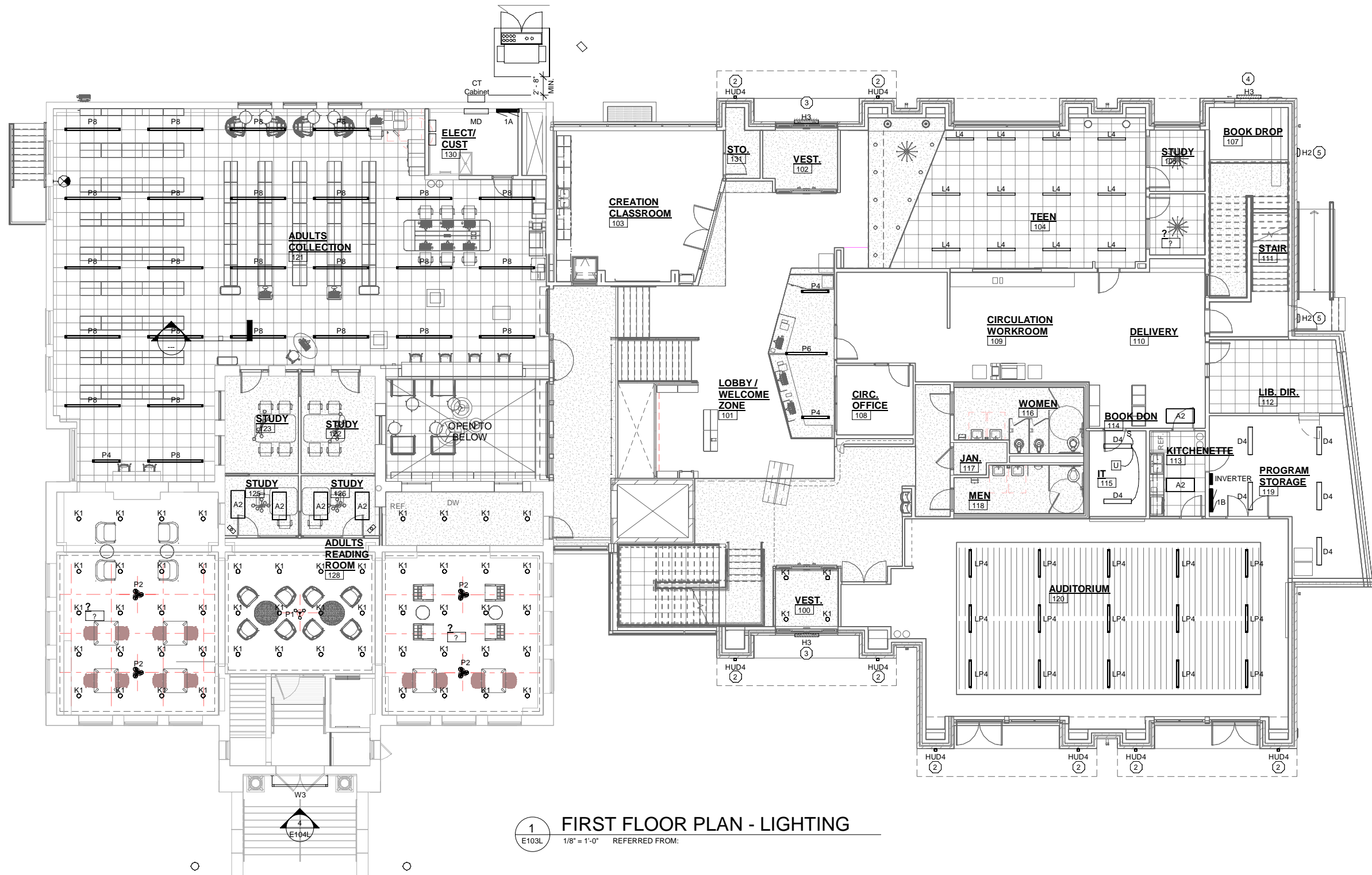
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OUTSIDE PROPERTY BOUNDARY	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
PARKING - NORTH	+	0.9 fc	2.5 fc	0.3 fc	8.3:1	3.0:1
SITE	+	0.3 fc	3.0 fc	0.0 fc	N/A	N/A
WALKWAY - SOUTH	+	0.7 fc	3.6 fc	0.1 fc	36.0:1	7.0:1
WALKWAY/DRIVE - NORTH	+	1.2 fc	5.6 fc	0.1 fc	56.0:1	12.0:1



SOUTH ENTRANCE - LOOKING UP



YB



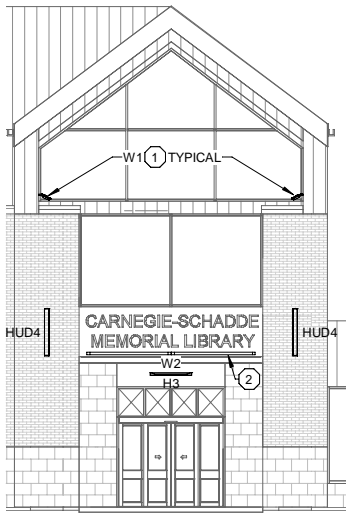
1 FIRST FLOOR PLAN - LIGHTING  
E103L 1/8" = 1'-0" REFERRED FROM:

GENERAL NOTES:

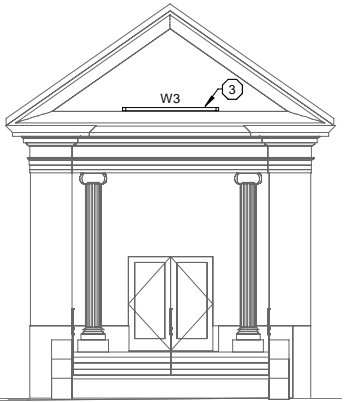
- ALL EXTERIOR LIGHTING AND BUILDING PERIMETER LIGHTING FIXTURES SHALL BE CIRCUITED WITH THREE WIRES PLUS GROUND FOR FUTURE CONTROL CAPABILITY. SEE DETAIL (3) E401. CONTROLS ARE LOCATED NEXT TO PANEL (#10 WIRE MINIMUM).
- ALL LIGHTING FIXTURES IN MECHANICAL ROOMS SHALL BE LAID OUT ON SITE AND DETERMINED BY THE MECHANICAL EQUIPMENT IN ROOM.
- ALL EXIT LIGHTS THIS SHEET SHALL BE CIRCUITED TO
- SHADED FIXTURE ( ) INDICATES FIXTURE CONNECTED TO EMERGENCY/NIGHT LIGHT CIRCUIT.
- IN ROOMS WITH OCCUPANCY SENSOR, GENERAL ILLUMINATION IN ROOM SHALL BE CONTROLLED BY SENSOR. EMERGENCY LIGHTING SHALL NOT BE CONNECTED TO SENSOR. CONTRACTOR TO DETERMINE BEST LOCATION FOR SENSOR IN FIELD WITH MANUFACTURER. SEE DETAIL (1) E401.
- SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF CEILING MOUNTED LIGHT FIXTURES.

PLAN NOTES: (X)

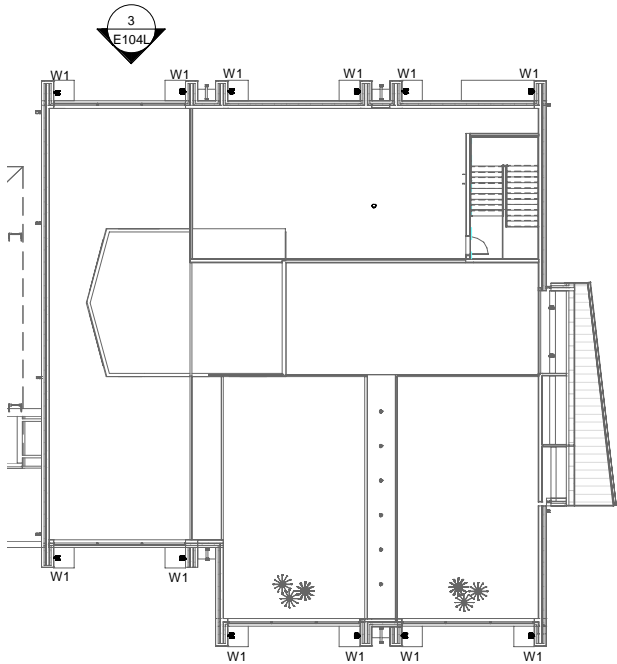
- MOUNT AT ELEVATION 109'-6" TO BOTTOM OF FIXTURE.
- MOUNT AT ELEVATION 112'-7" TO BOTTOM OF FIXTURE.
- MOUNT AT ELEVATION 111'-0" TO BOTTOM OF FIXTURE.
- MOUNT AT ELEVATION 108'-6" TO BOTTOM OF FIXTURE.
- MOUNT AT ELEVATION 108'-0" TO BOTTOM OF FIXTURE.
- MOUNT AT ELEVATION 109'-0" TO BOTTOM OF FIXTURE.



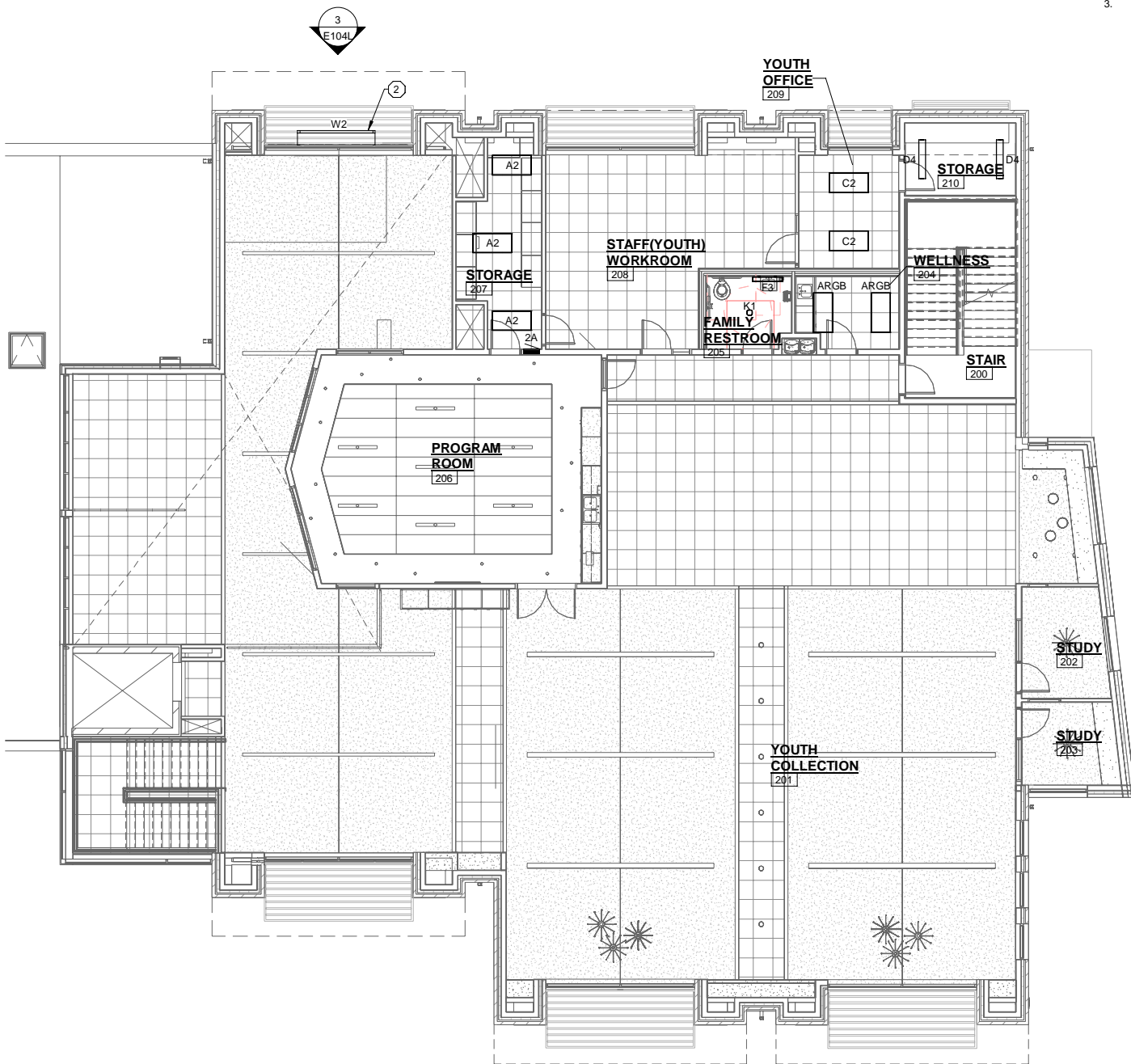
3  
E104L W1 & W2 - FIXTURE MOUNTING DETAIL  
SCALE: NTS



4  
E104L W3 - FIXTURE MOUNTING DETAIL  
SCALE: NTS



2  
E104L SECOND FLOOR PLAN - UP LIGHTING  
1/16" = 1'-0" REFERRED FROM:



1  
E104L SECOND FLOOR PLAN - LIGHTING  
1/8" = 1'-0" REFERRED FROM:

GENERAL NOTES:

- ALL EXTERIOR LIGHTING AND BUILDING PERIMETER LIGHTING FIXTURES SHALL BE CIRCUITED WITH THREE WIRES PLUS GROUND FOR FUTURE CONTROL CAPABILITY. SEE DETAIL 3 E401. CONTROLS ARE LOCATED NEXT TO PANEL (#10 WIRE MINIMUM).
- ALL LIGHTING FIXTURES IN MECHANICAL ROOMS SHALL BE LAID OUT ON SITE AND DETERMINED BY THE MECHANICAL EQUIPMENT IN ROOM.
- ALL EXIT LIGHTS THIS SHEET SHALL BE CIRCUITED TO
- SHADED FIXTURE ( ) INDICATES FIXTURE CONNECTED TO EMERGENCY/NIGHT LIGHT CIRCUIT.
- IN ROOMS WITH OCCUPANCY SENSOR, GENERAL ILLUMINATION IN ROOM SHALL BE CONTROLLED BY SENSOR. EMERGENCY LIGHTING SHALL NOT BE CONNECTED TO SENSOR. CONTRACTOR TO DETERMINE BEST LOCATION FOR SENSOR IN FIELD WITH MANUFACTURER. SEE DETAIL 1 E401.
- SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF CEILING MOUNTED LIGHT FIXTURES.

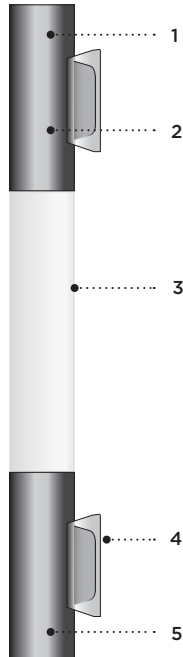
PLAN NOTES: (X)

- WALL MOUNT TYPE W1 FIXTURE. COORDINATE EXACT LOCATION WITH ON SITE ARCHITECT PRIOR TO ROUGH. NIGHT AIM FIXTURE AND ADJUST DIMMING TO ILLUMINATE OVERHANG TO DESIRED LEVEL. PROVIDE ALL NECESSARY MOUNTING ACCESSORIES TO PROVIDE A COMPLETE WATERTIGHT INSTALLATION.
- MOUNT TYPE W2 FIXTURE ABOVE CANOPY, NIGHT AIM AT SIGNAGE AND ADJUST DIMMING TO ILLUMINATE SIGNAGE TO DESIRED LEVEL.
- MOUNT TYPE W3 FIXTURE ABOVE PEDIMENT, NIGHT AIM AT FACE OF WALL AND ADJUST DIMMING TO DESIRED LEVEL.

TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_ PROJECT: \_\_\_\_\_

CATALOG NUMBER: \_\_\_\_\_

FIXTURE	WATTAGE	VOLTAGE	FINISH	OPTION	OPTION	OPTION	OPTION



ADA Compliant

- 1- Optional uplight component with sealed optics.
- 2- Ø 3" (76mm) seamless extruded aluminum housing for electrical components.
- 3- Ø 3" (76mm) white translucent high impact UV stabilized acrylic lens.
- 4- Cast aluminum mounting box.
- 5- Optional downlight component with sealed optics.

All stainless steel hardware.

CL315/CL325/CL345



#### MATERIALS

LumiSTIK wall is made of seamless extruded corrosion resistant 356 aluminum alloy with a copper (CU) content of less than 0.1%. LED is contained in a white translucent high impact UV stabilized acrylic sealed lens. The assembly is designed to provide a uniform illumination.

#### ELECTRICAL

**DRIVER** Standard driver is 0-10V dimming-ready (dims to 10%) with: 120-277 multi-volt compatibility (50-60Hz), operating temperatures of -30°C/-22°F to 60°C/140°F, output over voltage protection, output over current protection, output short circuit protection with auto-recovery.

**LED** Standard 4000K CCT/80 CRI. Optional 3000K & 3500K.

#### LIFE

50,000hrs L85B50 (based on IESNA TM-21 Test Method and LM-80 data).

#### FINISH

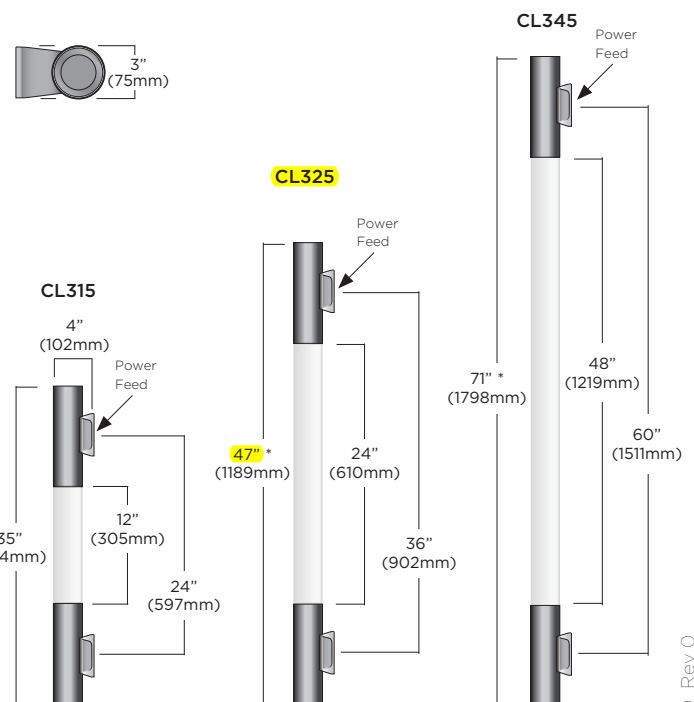
Five-stage preparation process including preheating of cast aluminum parts for air extraction, and an environmentally friendly alloy sealant. Polyester powder coating is applied through an electrostatic process and oven cured for long term finish.

#### MOUNTING

Weight: CL315: 7.8 lbs (3.5 kg), CL325: 8.7 lbs (4 kg), CL345: 10.4 lbs (4.7 kg)  
The mounting plate is designed to fit on a 2X4" (51x102mm) rectangular electrical box using 3.156" (80mm) C/C mounting holes. Optional trimming plate for octagonal jbox (option MT4).

#### CERTIFICATION

Tested to UL1598 and CSA 22.2 #250. ETL listed wet location. Rated IP66.



\*OAH increases when UDL option is selected.  
See Note #4 on pg2.

Mar 2020 Rev 0

## FEATURES & SPECIFICATIONS

**INTENDED USE** — These specifications are for USA standards only. Check with factory for Canadian specifications. Square Straight Steel is a general purpose light pole for up to 39-foot mounting heights. This pole provides a robust yet cost effective option for mounting area lights and floodlights.

**CONSTRUCTION** — **Pole Shaft:** The pole shaft is of uniform dimension and wall thickness and is made of a weldable-grade, hot-rolled, commercial-quality steel tubing with a minimum yield of 55 KSI (11-gauge, .1196"), or 50 KSI (7-gauge, .1793"). Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4", 5" and 6".

**Pole Top:** A flush non-metallic black top cap is provided for all poles that will receive drilling patterns for side-mount luminaire arm assemblies or when ordered with PT option.

**Handhole:** A reinforced handhole with grounding provision is provided at 18" from the base on side A. Positioning the handhole lower may not be possible and requires engineering review; consult Tech Support-Outdoor for further information. Every handhole includes a cover and cover attachment hardware. The handhole has a nominal dimension of 2.5" x 5".

**Base Cover:** A durable ABS plastic two-piece full base cover, finished to match the pole, is provided with each pole assembly. Additional base cover options are available upon request.

**Anchor Base/ Bolts:** Anchor base is fabricated from steel that meets ASTM A36 standards and can be altered to match existing foundations; consult factory for modifications. Anchor bolts are manufactured to ASTM F1554 Standards grade 55, (55 KSI minimum yield strength and tensile strength of 75-95 KSI). Top threaded portion (nominal 12") is hot-dipped galvanized per ASTM A-153.

**HARDWARE** — All structural fasteners are high-strength galvanized carbon steel. All non-structural fasteners are galvanized or zinc-plated carbon steel or stainless steel.

**FINISH** — Extra durable standard powder-coat finishes include Dark Bronze, White, Black, Medium Bronze and Natural Aluminum colors. Classic finishes include Sandstone, Charcoal Gray, Tennis Green, Bright Red and Steel Blue colors. Architectural Colors and Special Finishes are available by quote and include, but are not limited to Hot-dipped Galvanized, Paint over Hot-dipped Galvanized, RAL Colors, Custom Colors and Extended Warranty Finishes. Factory-applied primer paint finish is available for customer field-paint applications.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**NOTE:** Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number	
Notes	
Type	<b>POLES</b>



**Anchor Base Poles**

**SSS**

**SQUARE STRAIGHT STEEL**





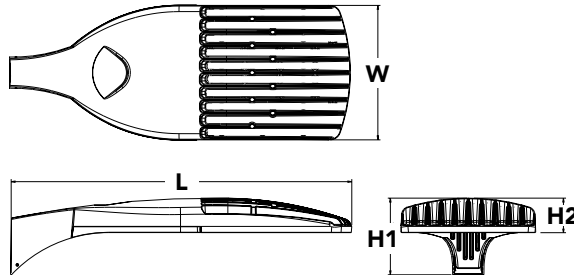
# D-Series Size 1 LED Area Luminaire



d#series

## Specifications

<b>EPA:</b>	1.01 ft <sup>2</sup> (0.09 m <sup>2</sup> )
<b>Length:</b>	33" (83.8 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height H1:</b>	7-1/2" (19.0 cm)
<b>Height H2:</b>	3-1/2"
<b>Weight (max):</b>	27 lbs (12.2 kg)



Catalog  
Number

Notes

Type  
Y12

Hit the Tab key or mouse over the page to see all interactive elements.

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE:** DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED						
Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	<b>Forward optics</b> P1 <sup>1</sup> P4 <sup>1</sup> P7 <sup>1</sup> P2 <sup>1</sup> P5 <sup>1</sup> P8 P3 <sup>1</sup> P6 <sup>1</sup> P9 <sup>1</sup> <b>Rotated optics</b> P10 <sup>2</sup> P12 <sup>2</sup> P11 <sup>2</sup> P13 <sup>1,2</sup>	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium	TSVS Type V very short <sup>3</sup> T5S Type V short <sup>3</sup> T5M Type V medium <sup>3</sup> TSW Type V wide <sup>3</sup> BLC Backlight control <sup>4</sup> LCCO Left corner cutoff <sup>4</sup> RCCO Right corner cutoff <sup>4</sup>	MVOLT <sup>5</sup> 120 <sup>6</sup> 208 <sup>6</sup> 240 <sup>6</sup> 277 <sup>6</sup> 347 <sup>6</sup> 480 <sup>6</sup>	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting <sup>7</sup> WBA Wall bracket <sup>3</sup> SPUMBA Square pole universal mounting adaptor <sup>8</sup> RPUMBA Round pole universal mounting adaptor <sup>8</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>9</sup>

Control options			Other options	Finish <i>(required)</i>
<b>Shipped installed</b>			<b>Shipped installed</b>	
NLTAIR2	nLight AIR generation 2 enabled <sup>10</sup>	PIR	High/low, motion/ambient sensor, 8–15’ mounting height, ambient sensor enabled at 5fc <sup>17,18</sup>	DDBXD Dark bronze
PIRHN	Network, high/low motion/ambient sensor <sup>11</sup>	PIRH	High/low, motion/ambient sensor, 15–30’ mounting height, ambient sensor enabled at 5fc <sup>17,18</sup>	DBLXD Black
PER	NEMA twist-lock receptacle only (controls ordered separate) <sup>12</sup>	PIR1FC3V	High/low, motion/ambient sensor, 8–15’ mounting height, ambient sensor enabled at 1fc <sup>17,18</sup>	DNAXD Natural aluminum
PER5	Five-pin receptacle only (controls ordered separate) <sup>12,13</sup>	PIRH1FC3V	Bi-level, motion/ambient sensor, 15–30’ mounting height, ambient sensor enabled at 1fc <sup>17,18</sup>	DWHXD White
PER7	Seven-pin receptacle only (controls ordered separate) <sup>12,13</sup>	FAO	Field adjustable output <sup>17,19</sup>	DDBTXD Textured dark bronze
DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>14</sup>			DBLBXD Textured black
DS	Dual switching <sup>15,16,17</sup>			DNATXD Textured natural aluminum
			<b>Shipped separately</b>	DWHGXD Textured white
			HS House-side shield <sup>20</sup>	
			SF Single fuse (120, 277, 347V) <sup>6</sup>	
			DF Double fuse (208, 240, 480V) <sup>6</sup>	
			L90 Left rotated optics <sup>2</sup>	
			R90 Right rotated optics <sup>2</sup>	
			HA 50°C ambient operations <sup>1</sup>	
			BS Bird spikes <sup>21</sup>	
			EGS External glare shield	



COMMERCIAL OUTDOOR

# Hawthorne Path Light

## Product Data Sheet



The three-foot-tall Hawthorne path light echoes the design of its taller companion. Its multiple posts spread as they rise from their base to house a LED luminaire with sealed thermoformed lens. Hawthorne is made of cast aluminum and comes with a durable stainless steel base plate.

### General Description

- Aluminum structure with a steel base
- Cast aluminum LED cartridge and structure, stainless steel base plate
- Surface mounted; base plate mounting template included
- Asymmetrical and symmetrical distribution types available
- Zero up-light, International Dark-Sky approved
- UL Listed, suitable for wet locations

### Electrical

120V-277V 50/60 Hz, Class 2 LED driver mounted within integrated cast aluminum base cabinet. LED cartridge with weatherproof quick-disconnect provides ease of serviceability. Hawthorne ships prewired and fully assembled.

### Hawthorne Type 4

#### Type 4 Distribution

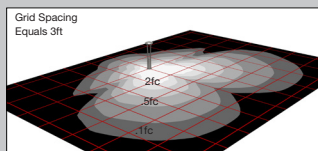
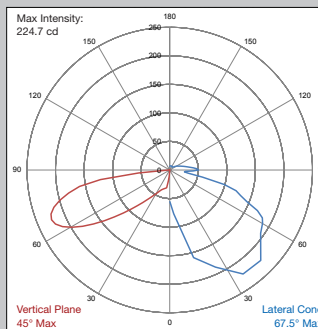
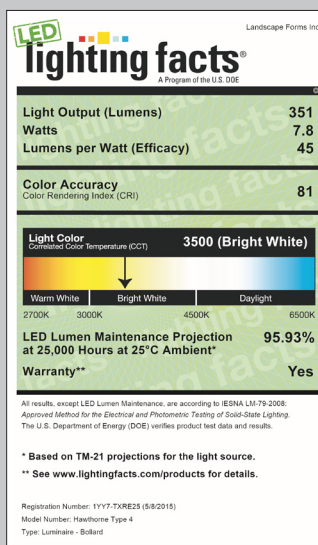
**Lamp:** High Power LEDs  
**CCT:** 3000K, 3500K, 4000K  
**Optic:** Khatod Collimators  
**Lens:** Diffused Acrylite®  
**Power Supply:** 120V-277V  
**LED Driver:** 20W  
**BUG Rating:** B0-U0-G1  
**IP Rating:** IP66 for LED Cartridge  
**Weight:** 50 lbs

### Hawthorne Type 5

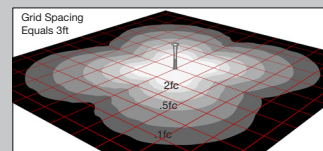
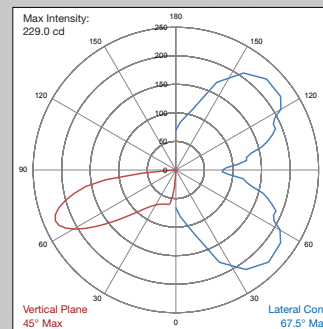
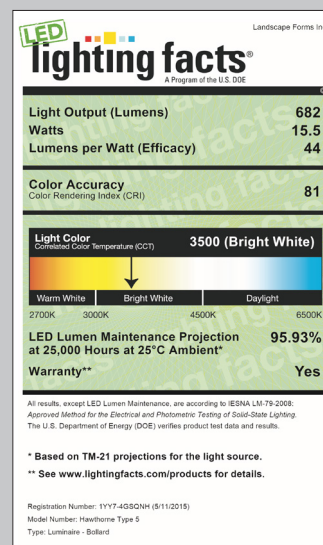
#### Type 5 Distribution

**Lamp:** High Power LEDs  
**CCT:** 3000K, 3500K, 4000K  
**Optic:** Khatod Collimators  
**Lens:** Diffused Acrylite®  
**Power Supply:** 120V-277V  
**LED Driver:** 20W  
**BUG Rating:** B1-U0-G1  
**IP Rating:** IP66 for LED Cartridge  
**Weight:** 50 lbs

### Hawthorne Type 4



### Hawthorne Type 5



# Hawthorne Path Light

landscapeforms®

## Product Data Sheet



### Finish

Pangard II®, offered exclusively by Landscape Forms, is a 19 step program of cleaning, priming, and powdercoating that resists rusting, chipping, peeling and fading to produce the finest metal finish available for site furniture and outdoor lighting. In addition, Pangard II® contains no heavy metals and is free of Hazardous Air Pollutants.

### To Order

Specify: Product, Lamp, Drive Current, Color Temperature, Input Voltage, Mounting Option, and Powdercoat Color.

Product	Lamp	Drive Current	Color Temp.	Input Voltage	Mounting
HW Hawthorne	006L4 ( 6 LED, Type 4 )  012L5 ( 12 LED, Type 5 )	035F	40K ( 4000K ) 35K ( 3500K ) 30K ( 3000K )	UV1 ( 120-277VAC )	SM ( Surface Mount )

EXAMPLE: HW – 006L4 – 035F – 35K – UV1 – SM – Powdercoat Color

### Product Modifications

Don't see what you are looking for? Our goal is to partner with you as the designer to manufacture solutions needed for the space you are creating. We offer the option to modify our standard product to meet certain design specifications or needs. Contact your local Landscape Forms representative to learn more about these offerings.

### Warranty

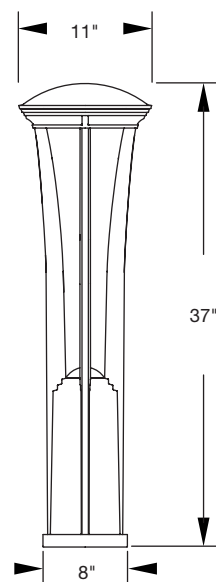
LED lighting products are warranted for six years.

### Other

UL Listed, CE, RoHS Compliant, Dark-Sky Approved,  
US Patent Pending



Hawthorne is designed by Robert A.M. Stern Architects



Visit our [landscapeforms.com](http://landscapeforms.com) for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level.  
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# WLZ SERIES

## Zero Uplight LED Wallpack



### DESCRIPTION

The WLZ Series features an architecturally relevant low-profile LED design in lumen packages ranging from 1500 lumens to over 12,000 lumens. Its high-efficiency light engine is designed for optimal light control and distribution with zero uplight. This family of product is offered in several size housings to complement any building exterior and accommodates mounting heights up to 35'. Integral emergency battery backup available for path of egress with Cold Location operation down to -20°C.

### SPECIFICATIONS

#### Construction

- Sleek die-cast aluminum housing with stainless steel hardware and powder coated black, bronze, silver or white finish
- UV-stabilized polycarbonate optical lens
- Integral heat sink for maximized heat dissipation
- Back box houses drivers away from LEDs and includes three ¾" hubs (WLZ1 and WLZ2 - two ¾" hubs)

#### Optics/LEDs

- Zero uplight design to minimize light pollution
- 15 to 100 Watt models replace up to 400 Watt HID for up to 70% energy savings
- Efficacies up to 123 LPW at 5000K to maximize utility rebates
- Type III and Type IV distributions for optimal light distribution (WLZ1 - Type III only)
- Available in 3000K, 3500K, 4000K and 5000K CCT
- L70 of 50,000 hours at 40°C
- CRI of ≥70

#### Electrical

- Class 2 power supply, 120-277VAC, 50/60Hz
- 347/480VAC Dedicated driver option for WLZ4, WLZ7 and WLZ10
- 0-10V Dimming driver (120-277VAC only)
- Power supply rated Class A EMI rating

#### Installation

- Housing hinges to back box and is secured with set screws
- Back box is complete with three ¾" hubs and internal bubble level for easy installation (WLZ1 and WLZ2 - two ¾" hubs)
- Mounts to a standard 3-1/2" or 4" square electrical J-box
- Suitable for downlight installation only

#### Options

##### Battery Backup

- Integral battery backup (BB) provides over 700 lumens and 90 minutes of runtime for path of egress. Rated for ambient temperatures of 0°C to 40°C (32°F to 104°F). Not available on WLZ1
- Integral Battery Backup with Internal Heater (BB-IH) provides over 700 lumens and 90 minutes of runtime for path of egress in Cold Locations down to -20°C. Not available on WLZ1 or WLZ2.
- Factory installed dual driver options for WLZ4 and WLZ10 (WLZ7 is standard with two drivers)
- Factory installed 120/277VAC button type photocontrol option (PC)
- Factory installed 10kVA surge protection options (SP or SPH)

##### Accessories (Field Installed)

- 120/277VAC Button type universal photocontrol options accessory (PCU)
- Dimming occupancy sensor programmable, Wattstopper FSP221 available in multiple finishes (TL-SCES-L2)
- Remote control for occupancy sensor. Optional (TL-FSIR100)

##### Testing & Compliance

- cULus Listed for Wet Locations
- DesignLights Consortium® (DLC) Qualified (verify QPL for specific models)
- International Dark Sky friendly approved product. (IDA) 3000K only
- Operating temperatures: -40°C to 40°C (-40°F to 104°F)

##### Warranty

- Five year warranty (terms and conditions apply)

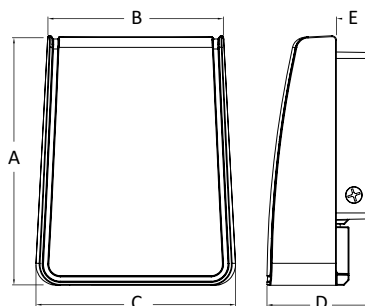


#### Specs At A Glance\*

Model	WLZ1	WLZ2	WLZ4	WLZ7	WLZ10
<b>Wattage (nominal)</b>	15W	25W	40W	70W	100W
<b>Lumens (lm)</b>	1745	3198	5021	8729	12,393
<b>Efficacy (LPW)</b>	115	118	123	120	116
<b>Equivalency (HID)</b>	50W	100W	150W	250W	400W
<b>Distribution</b>	Type III, IV (WLZ1 Type III only)				
<b>CCT</b>	3000K, 3500K, 4000K, 5000K				
<b>CRI</b>	≥70				
<b>Input Voltage</b>	120-277VAC, 50/60Hz, 347/480V option				
<b>Operating Temp</b>	-40°C to 40°C (-40°F to 104°F)				
<b>Certifications</b>	UL Listed for Wet Locations, DLC, IDA				
<b>Warranty</b>	5 Years				
<b>Weight</b>	2.6 lbs	3.3 lbs	6.0 lbs	9.9 lbs	12.1 lbs

\* Nominal Wattage, tested at 5000K CCT, Type III distribution. Values at 120/277VAC. See performance table for more detailed lumen information.

Note: Environment and application will affect actual performance. Typical values and 25°C (77°F) used for testing. Specifications subject to change without notice.



Model	A	B	C	D	E
WLZ1	6.7"	5.0"	5.6"	3.2"	1.4"
WLZ2	8.0"	5.7"	6.0"	3.2"	1.4"
WLZ4	10.2"	6.8"	7.8"	5.0"	1.9"
WLZ7	11.6"	8.3"	9.4"	5.0"	1.9"
WLZ10	11.6"	10.3"	11.5"	5.0"	1.9"

Model: \_\_\_\_\_ Date: \_\_\_\_\_

Accessories: \_\_\_\_\_

Job Name: \_\_\_\_\_ Type: \_\_\_\_\_

# BLADE H3

Vandal Resistant



BLD LED

Fixture Type H3

Date

Job Name

Approved By

Catalog Number BLD 12 - 10W - 4000K - 120 - 277 - CC - DP - - PC-

## SPECIFICATIONS

**Description** The Blade combines a sleek, patented design shaped with high performance, full cut off optics to achieve unobtrusive illumination of a space or path of egress. When mounted over a doorway, the fixture is perceived as an element of the building structure, and, additionally, provides water protection in the form of a drip cap over the entranceway. Multiple lengths are available to match a given door opening and our quick-mount system facilitates installation and maintenance.



**Housing** Marine grade heat treated extruded aluminum.  
Chemically primed and finished with robotically applied polyester powder coat.

**Wall Mount** Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat. Designed to provide quick mounting to housing and secured with (2) captive stainless steel TORX® head screws.

**Lens Frame** Marine grade heat treated extruded aluminum, clear anodized. Secured to fixture via integral concealed hinge and (4) captive stainless steel TORX® head screws.

**Lens** UV stabilized diffused extruded polycarbonate.

**End Plate** Die-cast marine grade aluminum. Chemically primed and finished with robotically applied polyester powder coat.

**Drivers** Constant current drivers at 350mA. High output version utilizes 700mA.

**LED** Samsung LM561B+ Series @ 2700K, 3000K, 3500K, 4000K, or 5000K and 82 CRI wired in parallel-series. L<sub>70</sub> projected life of 130,000 hours at 50°C. Tested in accordance with LM-80. Ten year warranty on LED boards against operational defects.

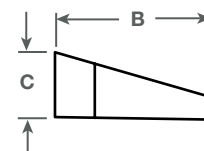
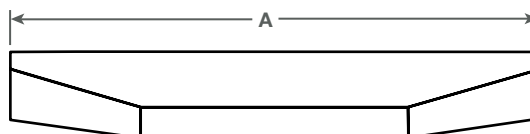
**Gaskets** Closed cell self-adhesive neoprene to provide watertight seal between fixture and wall and between fixture and lens frame.

**UL Listing** U.L., C.U.L., Wet standard.

**Lifetime** Luminaire LED Incorporated will repair or replace any fixture damaged due to

## DIMENSIONAL DATA

	A	B	C
BLD 12	20.0"	5.6"	2.4"
BLD 24	30.8"	5.6"	2.4"
BLD 36	41.6"	5.6"	2.4"
BLD 48	52.4"	5.6"	2.4"
BLD 72	74.0"	5.6"	2.4"



www.luminaireled.net  
Page 45 of 81

5 Sutton Place  
P.O. Box 2162  
Edison, NJ 08818

P. 732.549.0056  
F. 732.549.9737



Luminaire LED Incorporated products are manufactured in the USA with components purchased from USA suppliers, and meet the Buy American requirements under the ARRA. Content of specification sheets is subject to change; please consult our website for current product information.

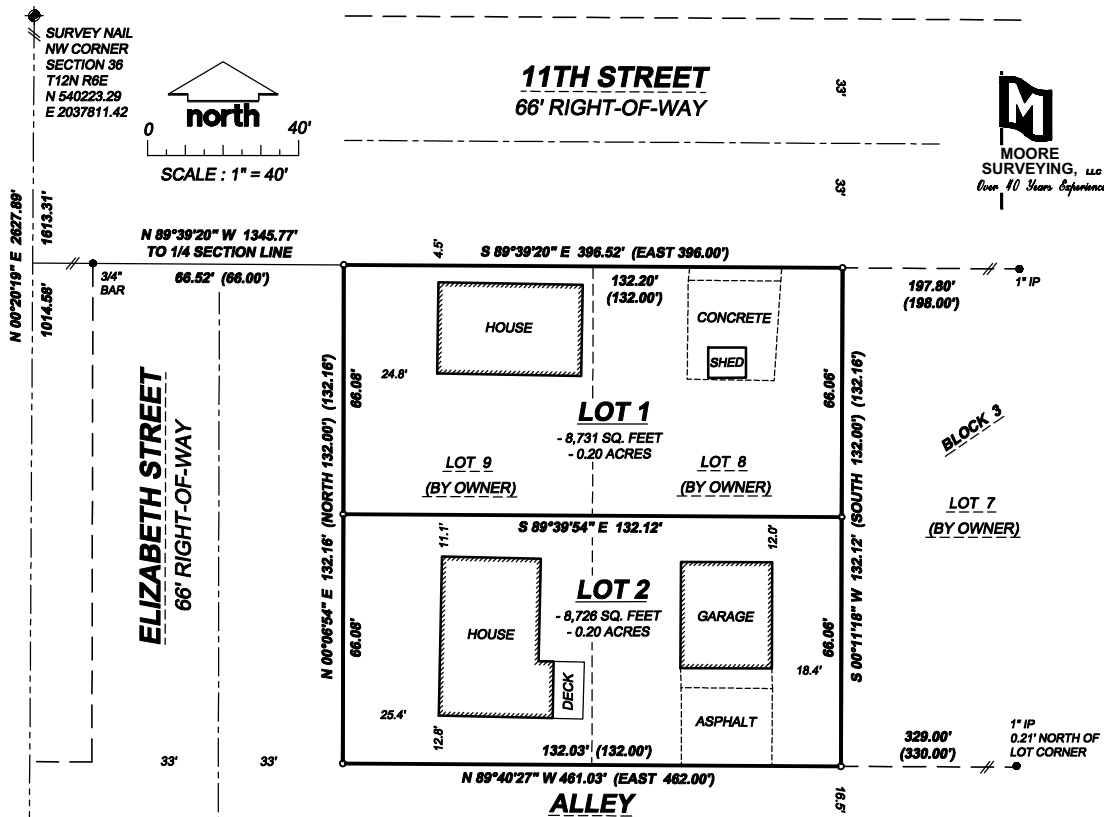
Rev: 10/18+

The screenshot displays a web-based GIS application interface. The main map area shows a grid of land parcels, each labeled with a unique identifier. A blue rectangle highlights a specific parcel labeled '1220' and '1214'. The map includes a toolbar on the left with various navigation and search tools. A legend on the right identifies the highlighted parcel as '1220' and '1214'. The map also shows surrounding parcels with their respective labels and a street grid.



# SAUK COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOTS 8 AND 9, BLOCK 3, A.G. TUTTLE'S SUBDIVISION, PART OF THE NW 1/4 OF THE SE 1/4, SECTION 36,  
TOWNSHIP 12 NORTH, RANGE 6 EAST, CITY OF BARABOO, SAUK COUNTY, WISCONSIN



**PROPERTY SURVEYED:**  
1220 ELIZABETH STREET  
BARABOO, WI 53913

**OWNER:**  
BERNICE COOK  
1214 ELIZABETH STREET  
BARABOO, WI 53913

**SURVEYED FOR:**  
CHRIS ALEXANDER  
1238 VAN ELLS WAY  
SUN PRAIRIE, WI 53590

**SURVEYED BY:**  
MOORE SURVEYING, LLC  
N3131 ROBIN ROAD  
POYNETTE, WI 53955  
(608) 288-1860

**DATE OF SURVEY  
AND FIELDWORK  
COMPLETION DATE:**  
NOVEMBER 9, 2020

**PROJECT:** 2549

## NOTES

1. BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NW 1/4 SECTION 36, TOWNSHIP 12 NORTH, RANGE 06 EAST, WHICH BEARS N 00°20'19" E WHEN REFERENCED TO STATE PLANE COORDINATES, WISCONSIN SYSTEM, SOUTH ZONE (NAD83).
2. ALL PLSS MONUMENTS AND REFERENCE TIES WERE FOUND AND VERIFIED.

## LEGEND

- LOT CORNER FOUND (AS NOTED)
- 3/4"X24" IRON REBAR SET WEIGHING 1.50 LBS./L.F.
- ◆ SECTION CORNER MON. FOUND (AS NOTED)
- (40') RECORDED DATA
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- 1/4 SECTION LINE
- DRIVEWAY
- PROPERTY LINE

## LEGAL DESCRIPTION

PART OF THE NW 1/4 OF THE SE 1/4, SECTION 36, TOWNSHIP 12 NORTH, RANGE 6 EAST, CITY OF BARABOO, SAUK COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 36; THENCE N 00°20'19" E, 1014.58 FEET ALONG THE WEST LINE OF THE NW QUARTER OF SAID SECTION 36; THENCE S 89°39'20" E, 1345.77 FEET TO THE POINT OF BEGINNING. THENCE CONTINUING S 89°39'20" E, 132.20 FEET; THENCE S 00°11'18" W, 132.12 FEET; THENCE N 89°40'27" W, 132.03 FEET; THENCE N 00°06'54" E, 132.16 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 17,457 SQUARE FEET OR 0.40 ACRES MORE OR LESS. SUBJECT TO RECORDED AND UNRECORDED RESTRICTIONS, RESERVATIONS, RIGHTS-OF-WAY AND EASEMENTS.

## SURVEYORS CERTIFICATE

I, ANDREW R. MOORE, PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY THAT THIS SURVEY IS IN COMPLIANCE WITH AE-7 AND CHAPTER 236.34 OF THE WISCONSIN STATUTES AND CHAPTER 18 OF THE CITY OF BARABOO, WISCONSIN ORDINANCES. I ALSO CERTIFY THAT BY THE DIRECTION OF CHRIS ALEXANDER, I HAVE MAPPED THE LANDS DESCRIBED ABOVE AND THAT THIS MAP IS A CORRECT REPRESENTATION THEREOF.

ANDREW R. MOORE, PROFESSIONAL LAND SURVEYOR, S-3028

DOCUMENT NO. \_\_\_\_\_

VOL. \_\_\_\_\_ PAGES \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

**SAUK COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

**LOTS 8 AND 9, BLOCK 3, A.G. TUTTLE'S SUBDIVISION, PART OF THE NW 1/4 OF THE SE 1/4, SECTION 36,  
TOWNSHIP 12 NORTH, RANGE 6 EAST, CITY OF BARABOO, SAUK COUNTY, WISCONSIN**

**CITY OF BARABOO PLAN COMMISSION CERTIFICATE**

APPROVED FOR RECORDING BY THE SECRETARY OF THE PLAN COMMISSION OF THE CITY OF BARABOO, SAUK COUNTY,  
WISCONSIN, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
MIKE PALM, (CHAIR) CITY OF BARABOO PLAN COMMISSION DATE

\_\_\_\_\_  
MIKE PALM, CITY OF BARABOO MAYOR DATE

\_\_\_\_\_  
TOM PINION, CITY OF BARABOO ENGINEER DATE

\_\_\_\_\_  
BRENDA ZEMAN, CITY OF BARABOO CLERK DATE

**REGISTER OF DEEDS CERTIFICATE**

RECEIVED FOR RECORDING ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_ AT \_\_\_\_\_  
AND RECORDED IN VOLUME \_\_\_\_\_ OF CERTIFIED SURVEYS, PAGES \_\_\_\_\_.

\_\_\_\_\_  
, SAUK COUNTY REGISTER OF DEEDS DATE

**OWNER'S CERTIFICATE**

AS OWNER(S) WE CERTIFY THAT WE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED  
AND MAPPED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS  
REQUIRED BY CHAPTER 18 OF THE CITY OF BARABOO, WISCONSIN ORDINANCES, TO BE SUBMITTED TO THE CITY OF BARABOO  
PLAN COMMISSION FOR REVIEW.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
BERNICE COOK DATE

STATE OF WISCONSIN )  
COUNTY OF DANE ) SS

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, THE ABOVE-  
NAMED PERSON(S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_



DOCUMENT NO. \_\_\_\_\_

VOL. \_\_\_\_\_ PAGES \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

For Office Use:	Date		Date
<input type="checkbox"/> Application given by _____	_____	<input type="checkbox"/> Notices Mailed by _____	_____
<input type="checkbox"/> Fee received by Treasurer _____	_____	<input type="checkbox"/> Public Hearing Published by _____	_____
<input type="checkbox"/> Filed with City Clerk _____	_____	<input type="checkbox"/> Plan Commission Held _____	_____
<input type="checkbox"/> Zoning Administrator Certification _____	_____	<input type="checkbox"/> Public Hearing Held _____	_____
<input type="checkbox"/> Referred for Staff Review _____	_____	<input type="checkbox"/> Council Action _____	_____
<input type="checkbox"/> Public Hearing Set _____	_____		

**City of Baraboo**

101 South Blvd.  
Baraboo, WI 53913  
(608) 355-2730 phone  
(608) 355-2719 fax

**PETITION FOR ZONING CHANGE**

(A non-refundable \$250 fee must accompany this application upon filing.)

**FOR TREASURER USE**

Receipt # \_\_\_\_\_

Account # 100-22-4440

Date of Petition: 10 Nov 2020

The undersigned, being all the owners of the real property covered by this zoning change request, hereby petition the City of Baraboo Plan Commission and Common Council as follows:

- Name and address of each owner: Amanda Ivy - 404 Philips Blvd., Sauk City, WI 53583
- Address of site: 620 South Parkway, Baraboo, WI 53913
- Tax parcel number of site: 206-194-00000 206-1924-00000
- Accurate legal description of site (state lot, block, and recorded subdivision or metes and bounds description) (Attach copy of owner's deed):  
0.89 acres – City of Baraboo Browns add PR-1 OL 12 = CSM # 5771 Lot 2.0.89A – Location SE-NE Sect 2 TIIN, R6E
- Present zoning classification: R1-A
- Requested zoning change: Residential primary home with computer, networking, and electronic services, classes and group/club gatherings (Party room) with re-purposing the existing sign
- Brief description of structures presently existing on site (include photos):  
Church with several small storage units, a sign with bell and planter, and 35 car parking lot. Ranch one level style with partially finished basement - 3 baths (1 main, 2 lower level) kitchen on lower level.
- Brief description of present use of site and structures thereon:  
Church, daycare, and storage sheds
- Brief description of any proposed change in use or structures if request for zoning change is granted (include change in number of employees):  
Convert to single family residence with a home occupation within the existing structure which will be converted from a church and a daycare. Services and public gatherings/meetings (Party room) are already hosted in building.
- The following arrangements have been made for serving the site with municipal sewer and water:  
N/A – Building already contains municipal sewer and water

**PAID**  
NOV 10 2020  
CITY OF BARABOO

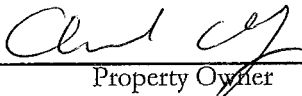


11. Name, address, and tax parcel number of all owners of each parcel immediately adjacent to the boundaries of the site and extending 200 feet from and all the owners of the land directly opposite from the site extending 200 feet from the street frontage of such opposite land. (see section 17.11(1)(c) and City Code).
12. A scale map or survey showing the location, boundaries, dimensions, uses, and size of the site and its relationship to adjoining lands is attached. The map or survey shows the approximate location of existing structures, easements, streets, alleys, loading areas and driveways, off street parking, highway access and access restrictions, existing street, side and rear yards, surface water drainage, grade elevations and the location and use of any lands immediately adjacent to each of the boundaries of the site and extending 200 feet, plus the location of any existing structures on each such identified parcel. The name and address of each owner is attached.
13. A statement with supporting evidence indicating that the proposed zoning change or special zoning exception shall conform to the purpose, intent, spirit and regulations of the Zoning Code.

WHEREFORE, the undersigned property owners hereby state that the foregoing information and all attachments to this Petition are true and correct to the best of our knowledge.

Dated this 10 day of Nov, 20020.

Property Owner

  
\_\_\_\_\_  
Property Owner

Property Owner

\_\_\_\_\_  
Property Owner

I have reviewed this application for completeness:

Date: \_\_\_\_\_

Zoning Administrator: \_\_\_\_\_

#### Personal house

Building meets all requirements of 17.08 –34 – Dwelling unit:

Greater than 864 square feet, ceiling height extends more than 7.5 feet, is on a concrete foundation, and connected to city sewer, electric, and water works.

A free standing garage is planned at a future date, and a permit will be applied for at that time.

#### Computer business

##### 17.08 – 56 – Home occupation

- Occupation will only be provided by family residing on the premises
- Nothing will be sold or offered for sale except as produced by family members
- Occupation will be carried out wholly within buildings on lot or at customer's sites
- The occupation will not produce offensive noise, vibration, dust, odors, smoke, heat, pollution, glare, or radio, electrical, or television interference or otherwise produce a nuisance
- Total area devoted to occupation shall not exceed 20 percent of the gross floor area of the dwelling unit
- Such occupation does not generate sewage or result in water usage in excess of what is normal for a residential dwelling
- Vehicular or pedestrian traffic or parking will not result in excess congestion or what is already typical for this building. No deliveries will be made by semi – Business does not purchase bulk materials that would require semi transport.
- The business does not need special construction, plumbing, or electrical that would be out of character for a residential home.
- Sign to preferably remain in use for the character of the building. Content of sign will be altered to reflect new tenants. Style and structure of sign will remain intact. See 17.36A sub 2 for similar use (albeit in a different zone type).
- The business currently needs very little space to operate, and should never even approach the 1000 square feet that the 20% rule would mandate.

##### Public meeting / classes (Indoor institutional) (17.08 (58))

- 17.08 – 56 (15): All public events can end at 8 p.m.; however, additional time (10 p.m.) is requested as these events would be hosted inside the building causing no excess noise or disturbance and all parking would be on the existing parking lot. This would allow for more flexibility for knitting clubs, movie nights and discussions, soldering and robotics classes, etc.
- 17.41 (l) and (n) – There is at least one stall for each 150 square feet of space (We have 30 parking stalls).
- Meeting rooms would remain mixed use, and would not be strictly public, but meetings would be held only in spaces that meet or exceed all guidelines for fire code and public safety. Pictures of the preferred room for such use are attached, along with pictures of the public bathroom, the main entryway to be used, and parking and driveway spaces.

We are proposing much lighter use than page 17-52, section 17.36A sub 2. While that building is zoned B-1 and is used for much more extreme use cases including retail, rental properties, and industrial, it is another classic building with multi-use zoning that is already featured on the city codes as a special use case. **(This statement refers to the Baraboo Arts Building on Water St. (formerly Industrial Coils.)**

We intend to use the building to enrich the community and restore the building to a state not dissimilar to its original appearance, preserving both its place in the community and its architecture for a new generation.





**\$155,000**

Type: Retail, Office, Service, School, Church,  
Day care, Other

Present Use: Church, Day care

RE For Sale: Yes

Bus. For Sale: No

Lease Only: No

Bldg Units: 1

Location: Business district, Free standing,  
Residential area

Street Frontage:

Industrial Park Name:

Trade Name:

Year Built: 1961

Lot Size: 0

Acres: 0.89

County: Sauk

Taxes: \$0/2017

Zoning: R1-A

Total SqFt: 4790

# of Stories: 1

On Site Parking: 21-35

Net Leasable SqFt: 4,790

Approx Bldg Dim.: 40x65

Parking fees/Mo.: 0

Floodplain:

Ceiling Height: 8-12

Water/Sewer: Municipal water, Municipal sewer

Roof: Composition, Partially flat

Avg Rent/Sq Ft: \$0

Net Operating Income: \$1

Vacancy Allow:

Fuel: Natural gas

Loading Docks: 0

Items Included:

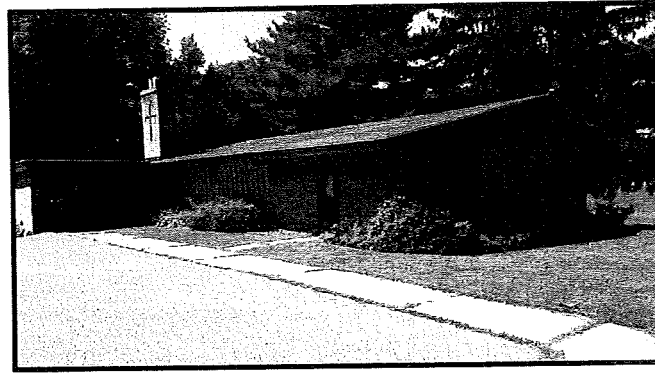
Items Excluded:

Heating/Cooling: Zoned heating, Forced air,  
Central air

Building Framing:

Basement:

Occupancy:



### 620 South Pky, Baraboo, WI 53913

From South Blvd Traffic Circle At Baraboo City Pool, Go Southeast On Us 123e (south Parkway)  
To Property On The Right

Great location with good visibility! Church building with 31 x 36 sanctuary, vaulted ceiling, office space, huge lower level activity room, several separate rooms, full kitchen, storage rooms, men's and women's restrooms. Many upgrades to mechanicals and electrical during current ownership period. No previous assessment due to tax-exemption.

Commercial/Business      MLS# 1835758

Status: Active

Features: Public rest rooms, Private Restrooms, Shared Restrooms, Less than 440 volt,  
Reception area, Signage available, Inside storage

Tenant Pays: N/A

Sale Includes: Equipment, Inventory, Furniture

Lease Type: None

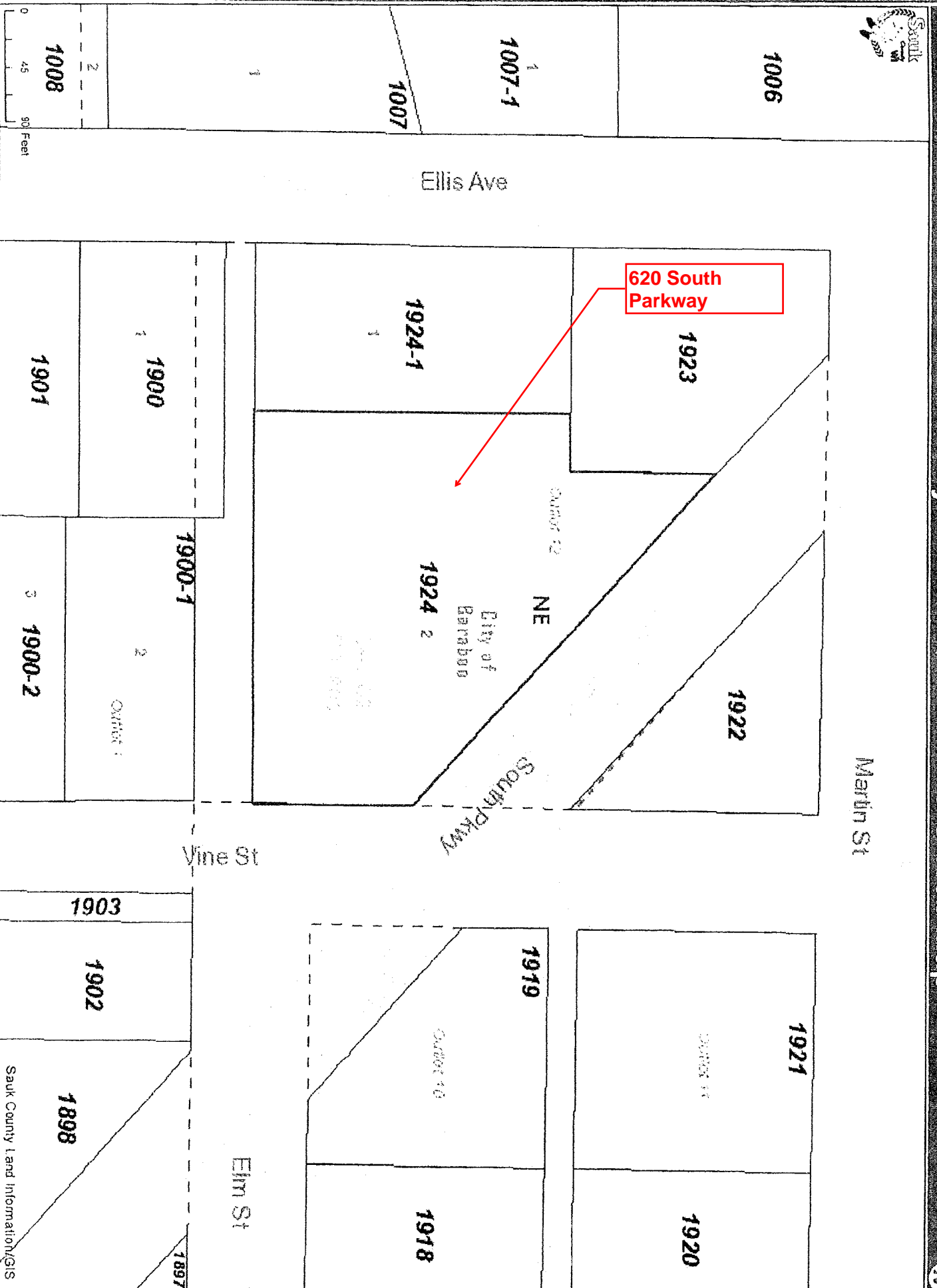
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and reliable but is not guaranteed and is subject to corrections

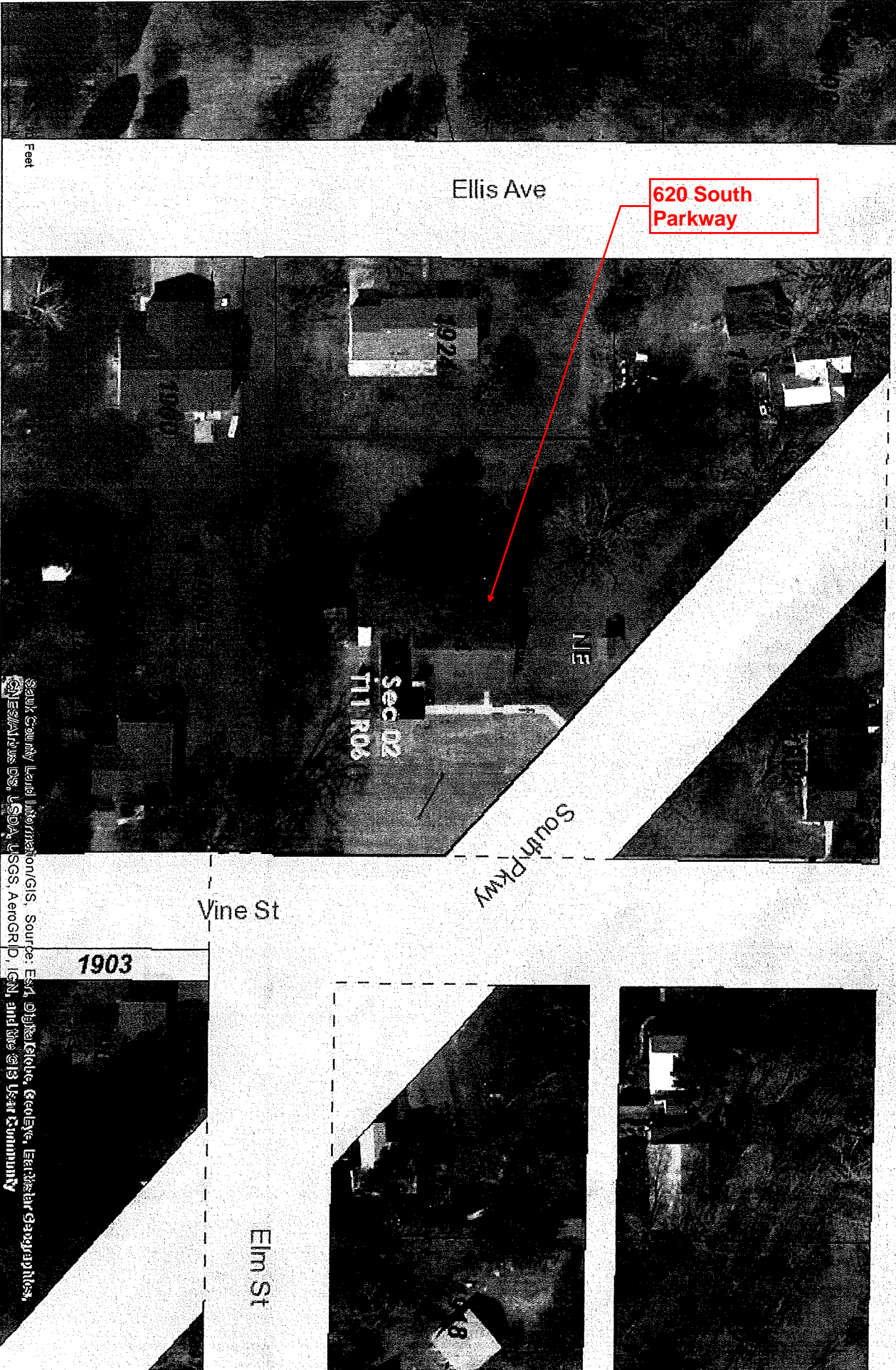


Listing Company: MLS - Century 21 Affiliated

Prepared By: Karen Stuart Strathman of First Weber, Inc.  
Mobile: 608-448-1517 Home: 608-493-2647

October 20, 2020





Feet

Ellis Ave

620 South  
Parkway

Martin St

South Pkwy

Vine St

Elm St

1903

1924

111 R03  
Sec 02

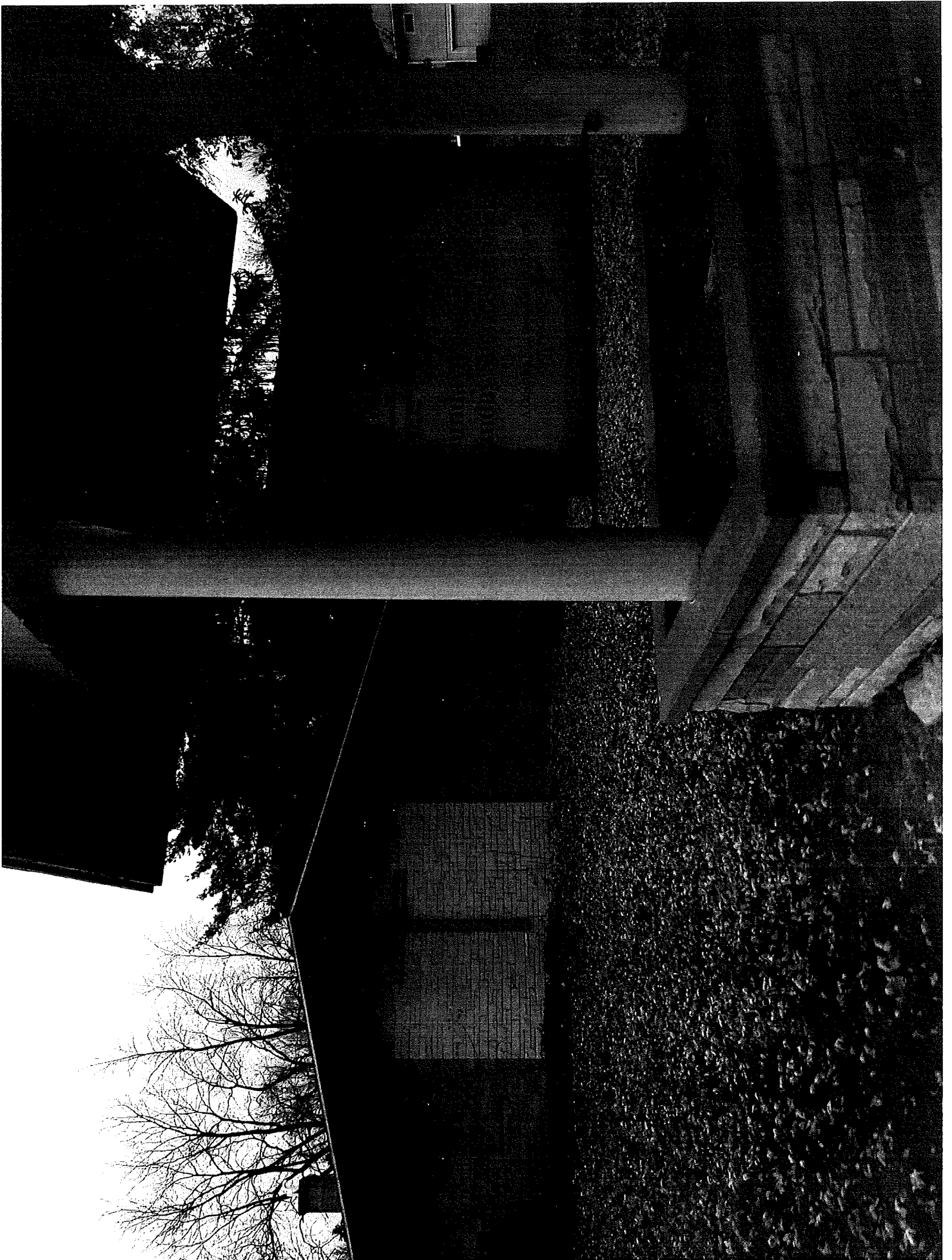
NE

1908

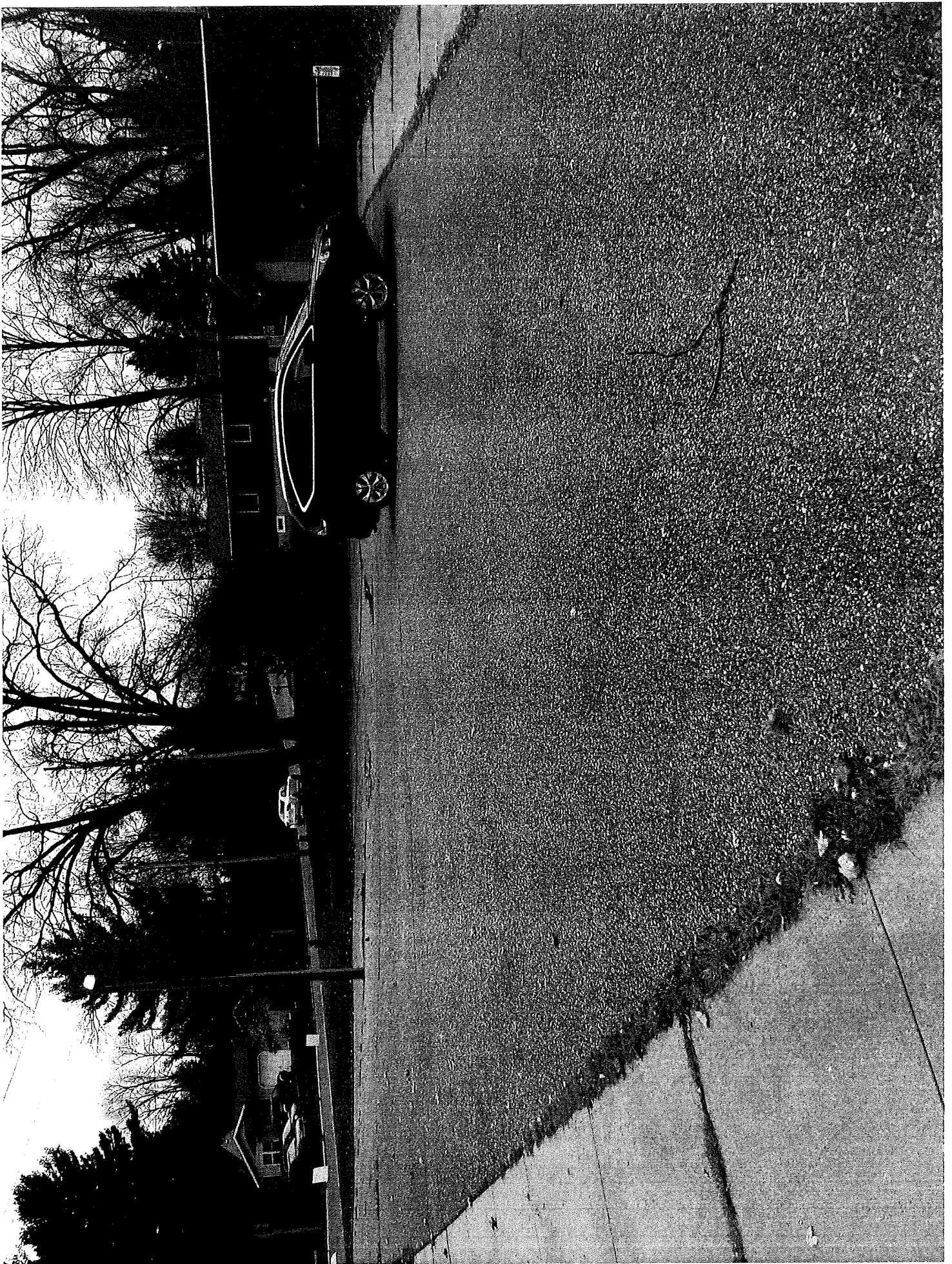
Sauk County Land Information/GIS, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

CGI INFORMATION PURPOSES ONLY. This County does not warrant the accuracy of the data contained herein and is not responsible for any errors or omissions. Data contained herein is provided for informational purposes only.

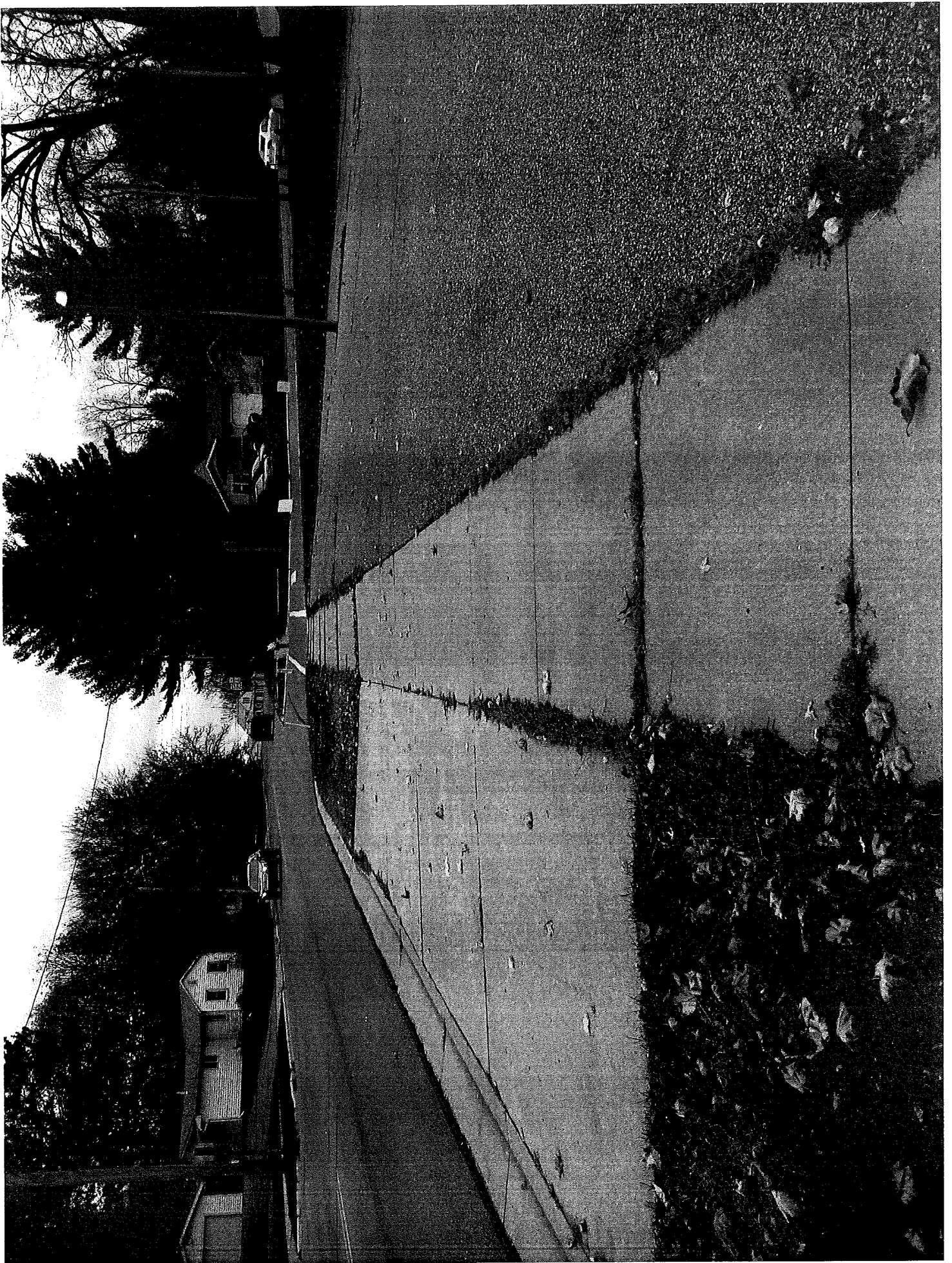




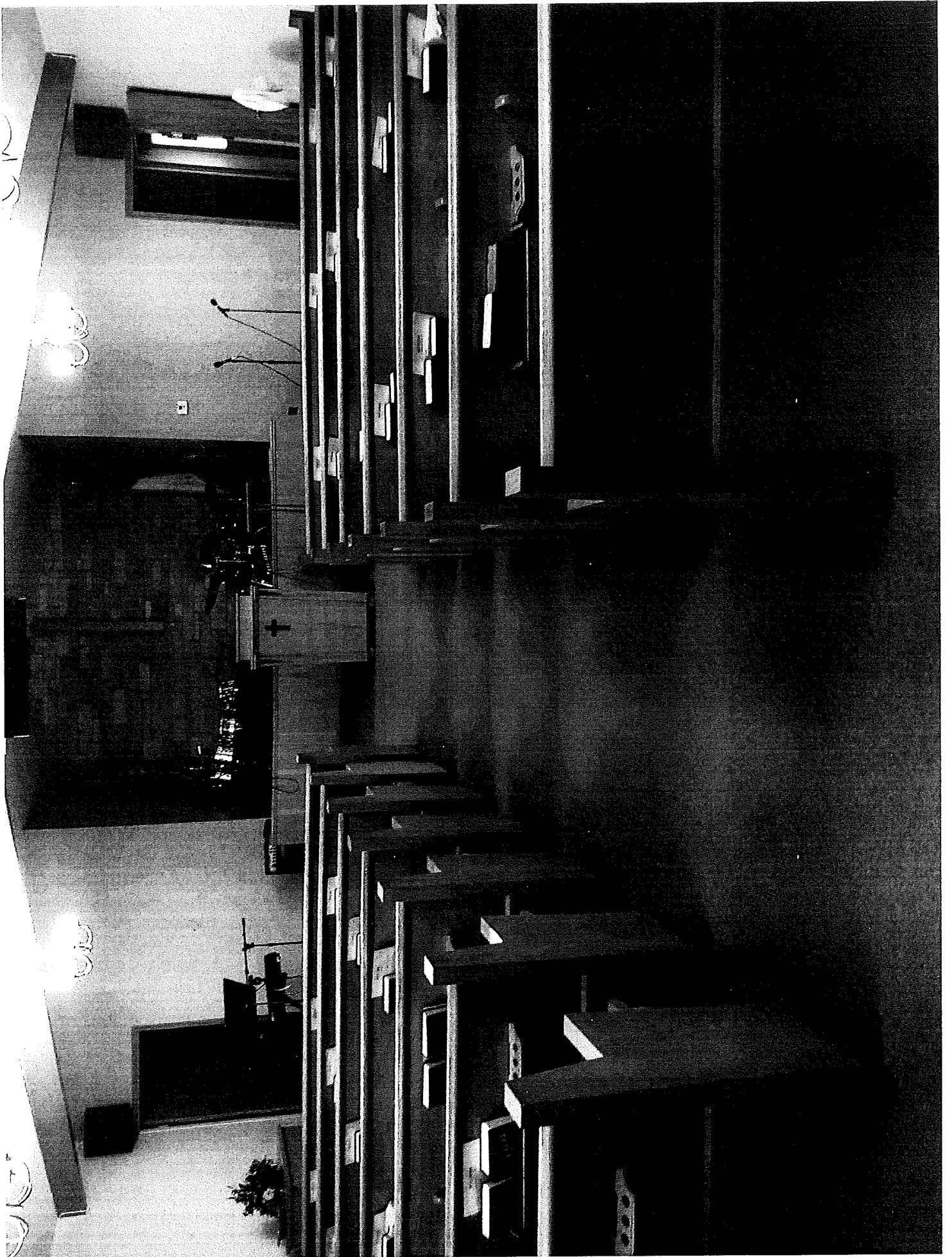




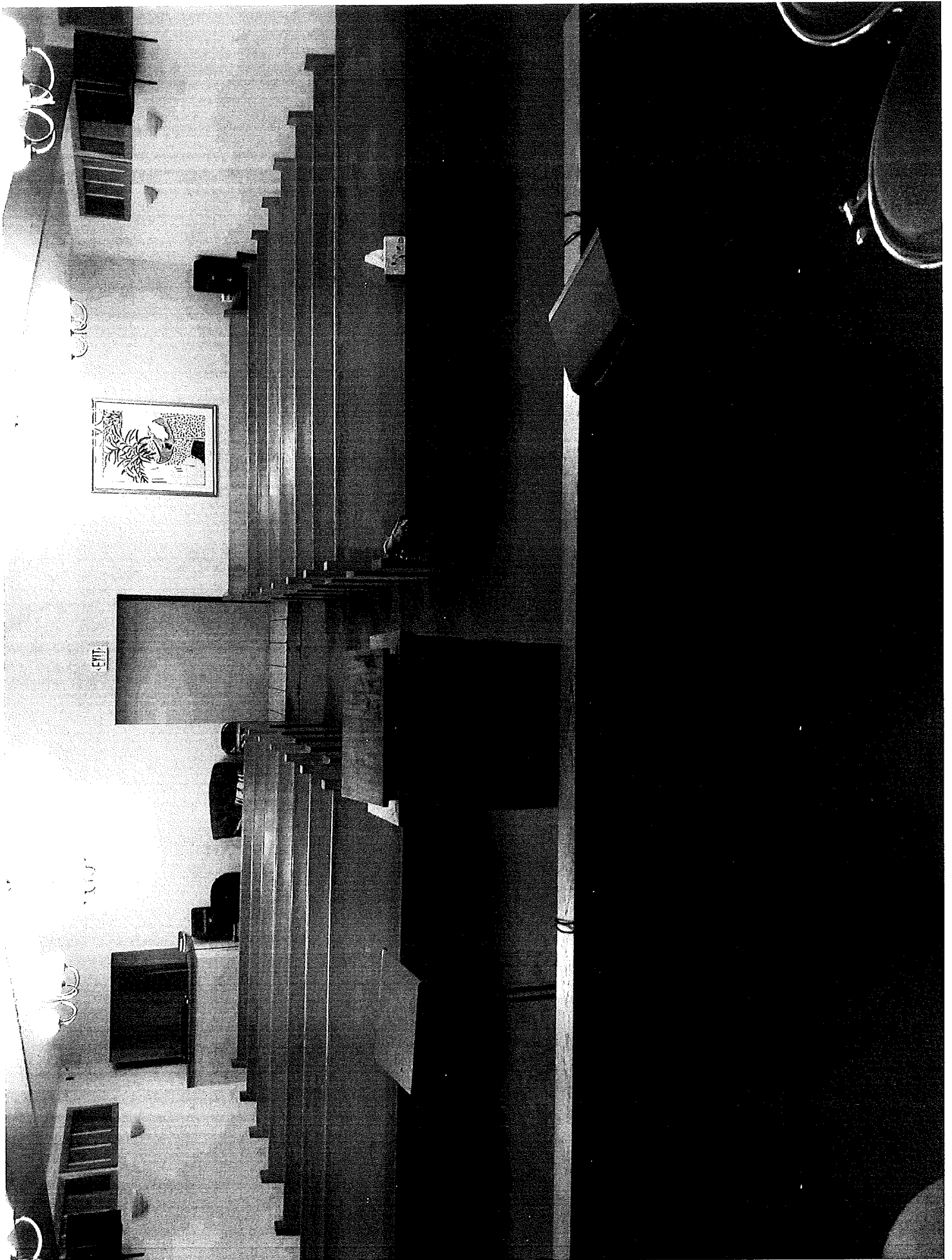




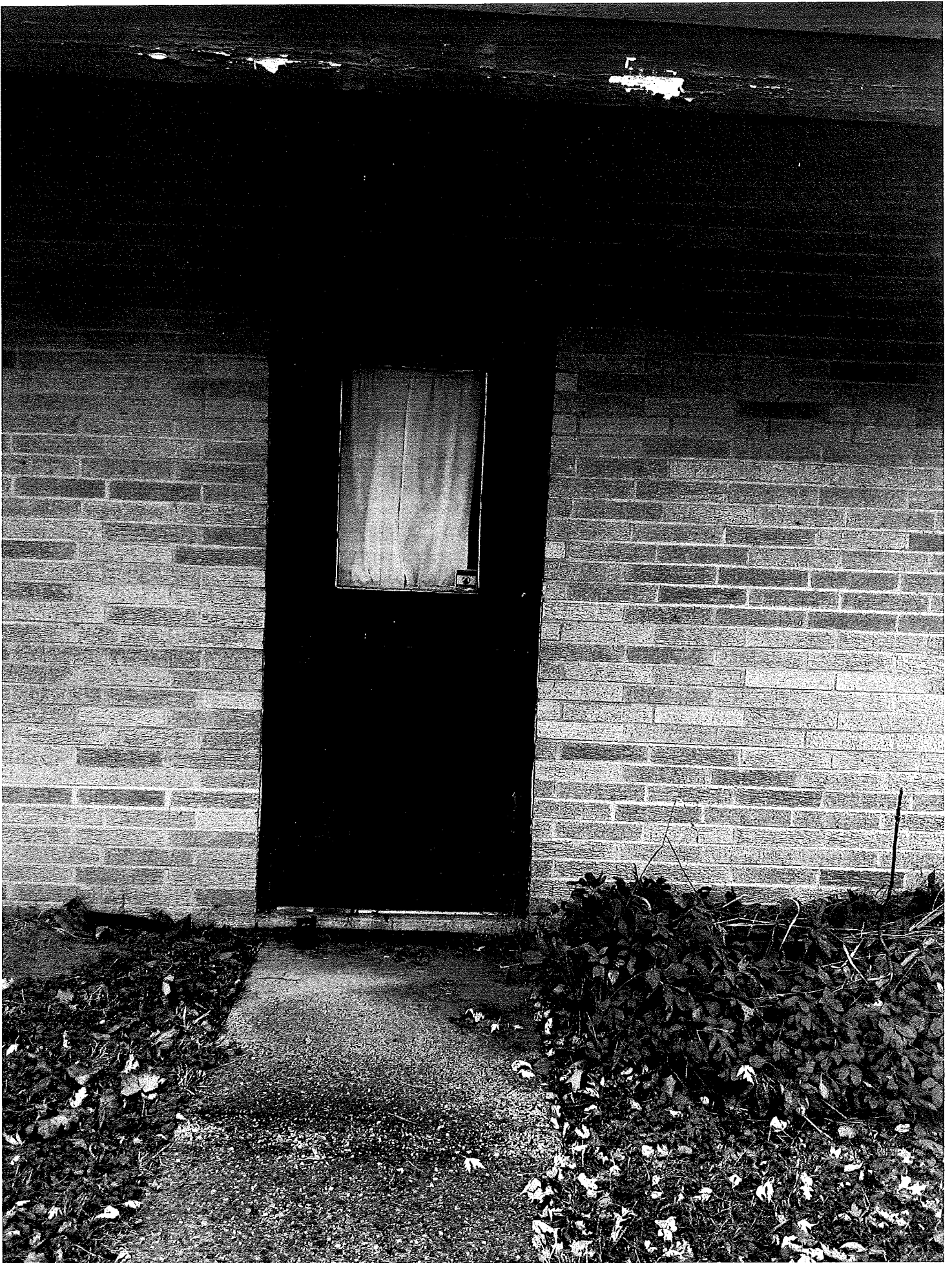




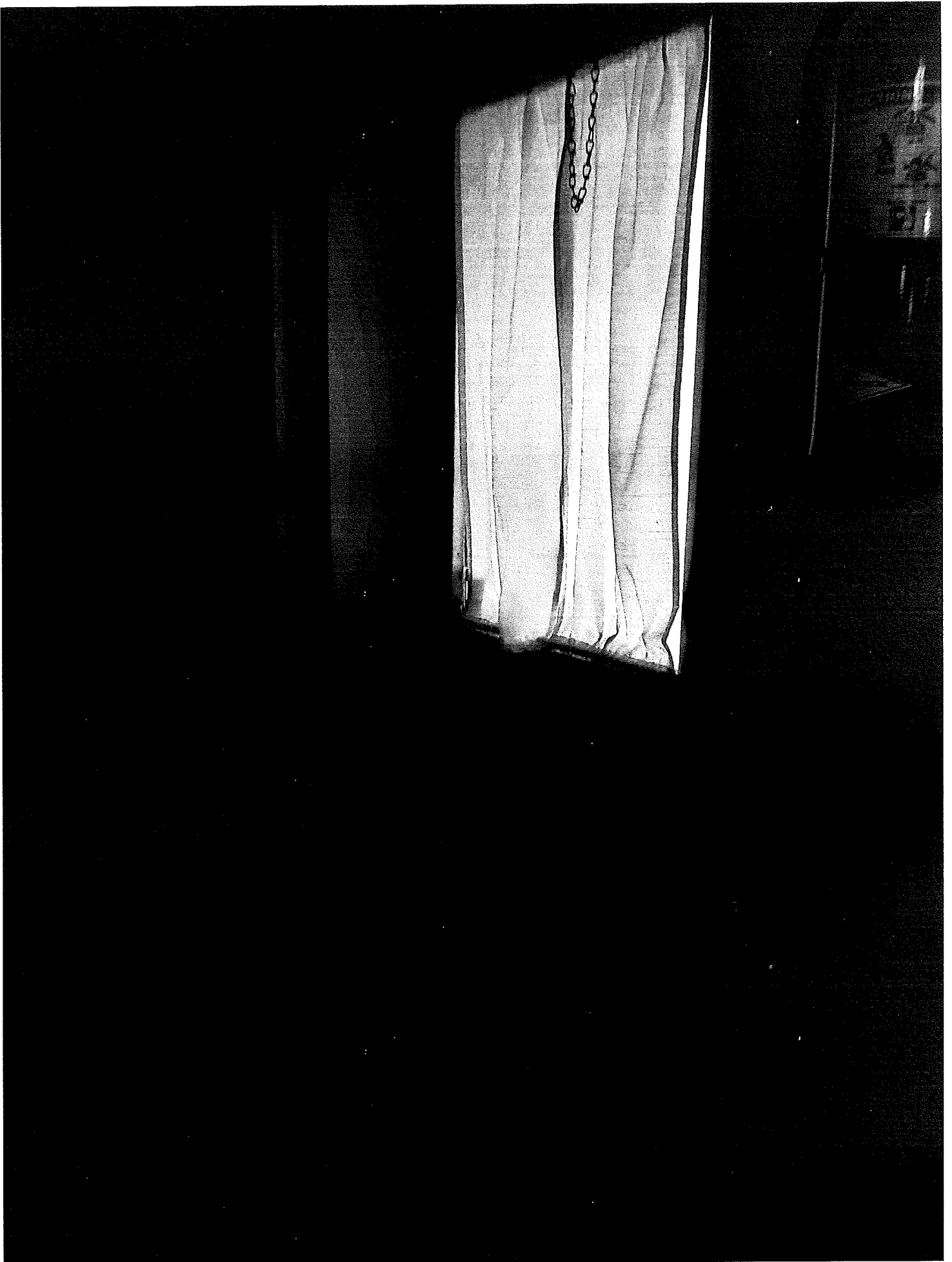


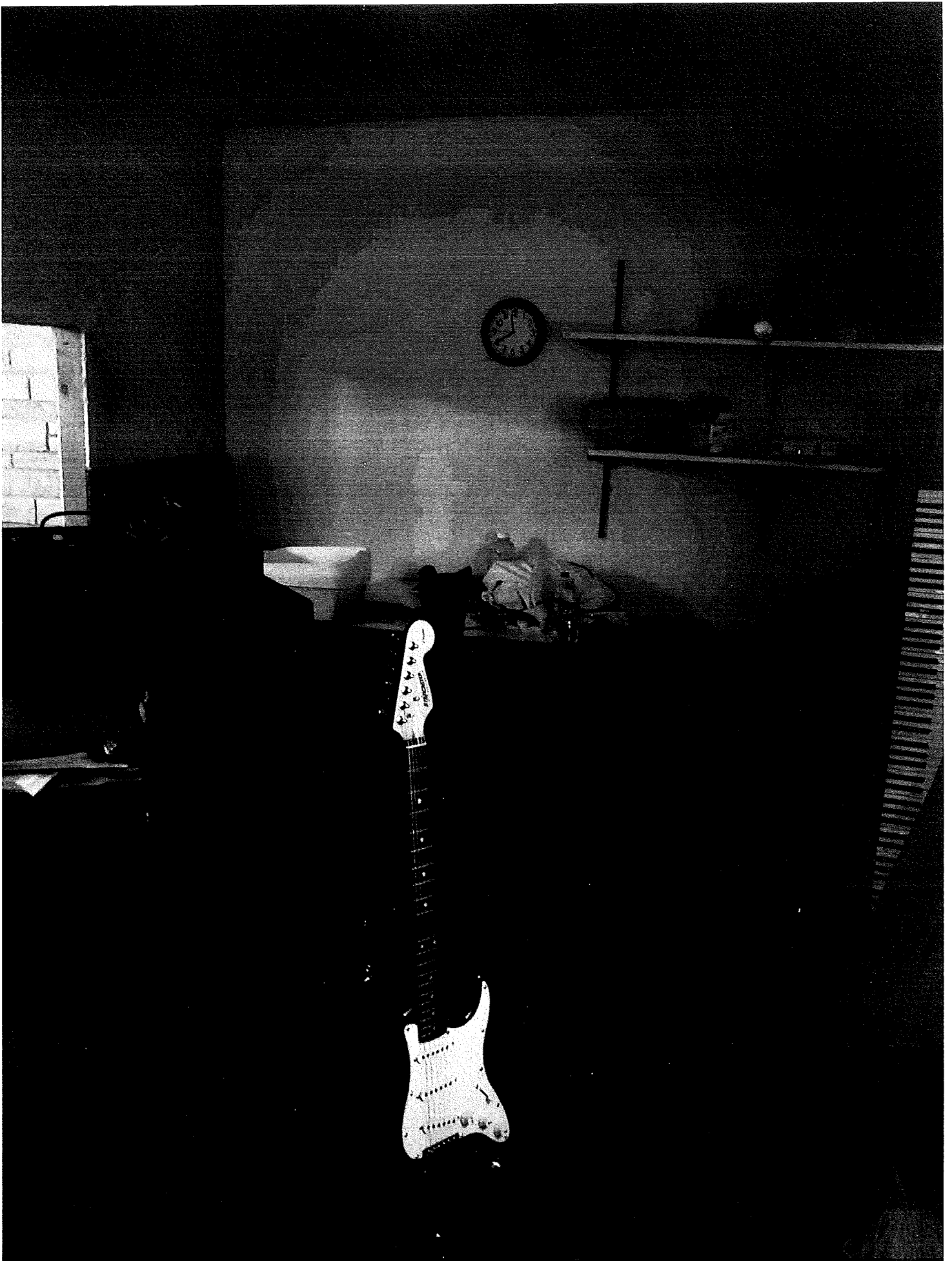






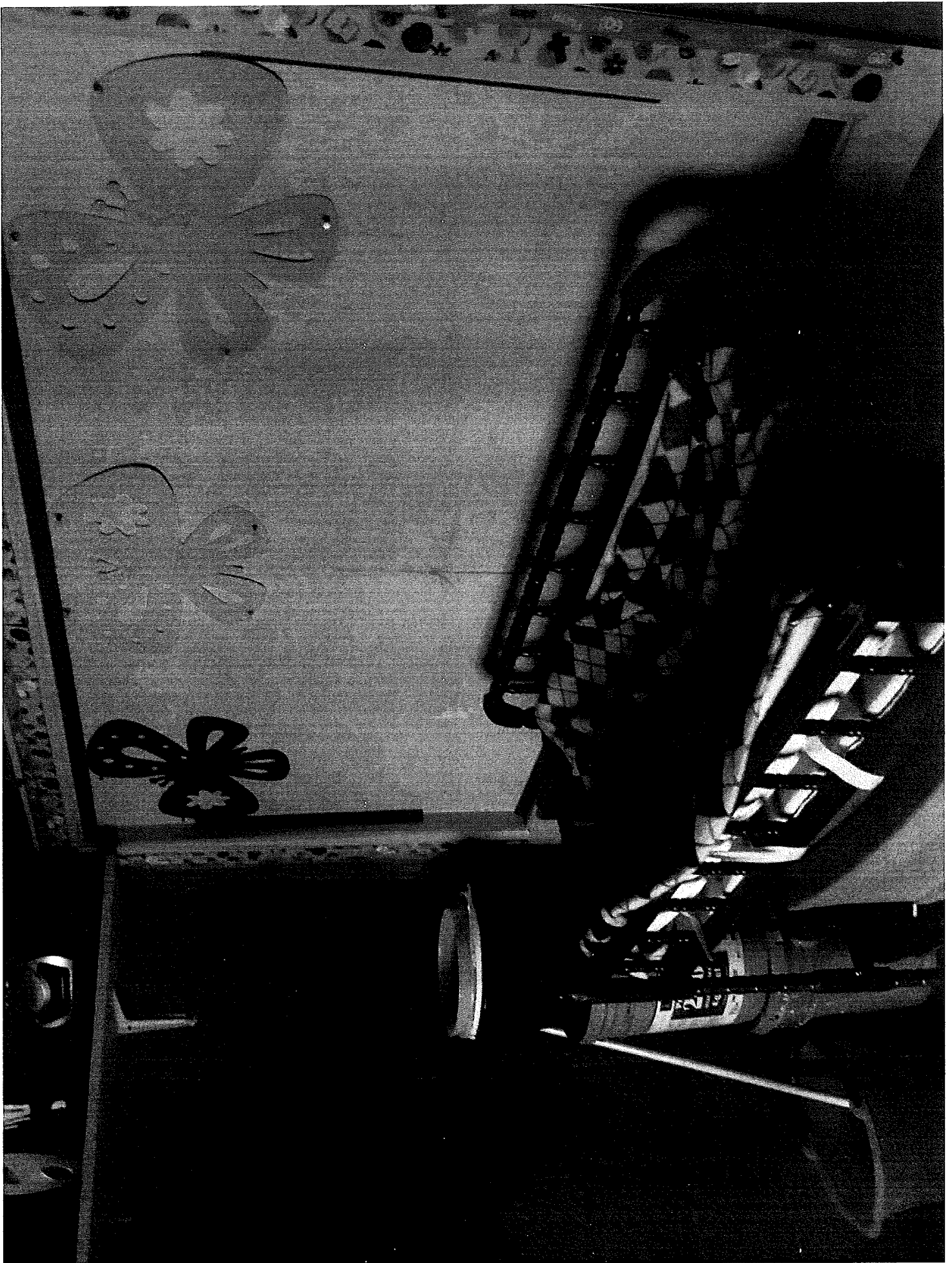




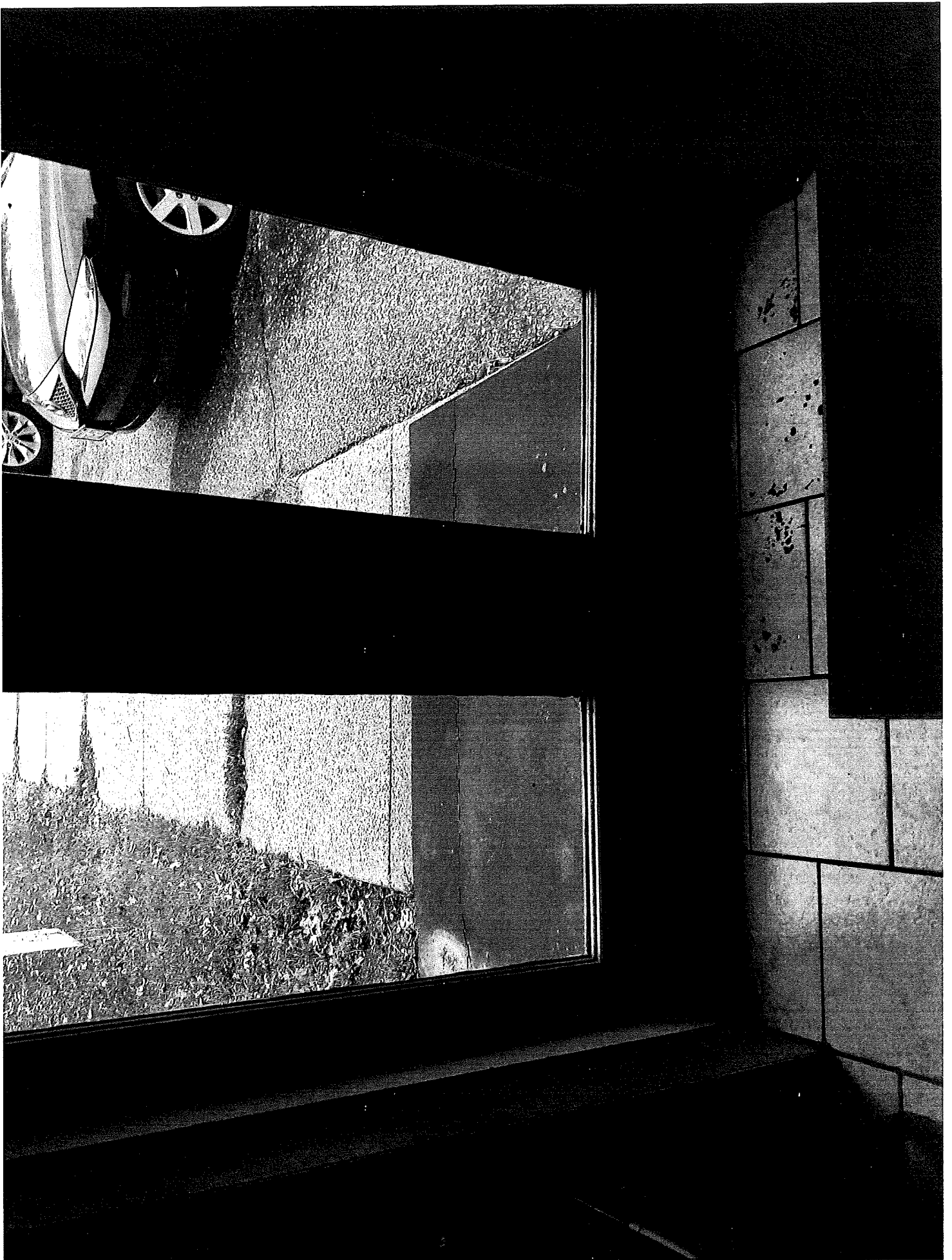


















**NBO-1**

**Ordinance No.  
The City of Baraboo, Wisconsin**

**Background:** Gilbert FTW petitioned for a planned unit development of lands located east of Ellis Avenue and south of Hollywood Avenue. The property is presently zoned R-3 and its size would accommodate up to 54 units. The present zoning only allows for buildings of up to 4 units however, and the Developer intends to construct a single building for use as a 54-unit luxury apartment complex with a mix of one- and two-bedroom units with a secured underground parking. In order to use the property for its intended use, the Developer requested PUD for the property. The project has been subject to staff review (Stage I), and review by the Plan Commission (Stage II). In order to proceed with the project, the General Development Plan requires approval (Stage III). As the project is a single use structure, the Specific Implementation Plan (Stage IV) is the same as the General Development Plan. The Plan Commission has reviewed the proposed GDP and recommends its adoption by Council.

**Fiscal Note: (check one) ☒ Not Required ☐ Budgeted Expenditure ☐ Not Budgeted**      **Comments:**

An Ordinance amending §17.18(4)(d) of the Code of Ordinances, relating to approved Planned Unit Developments, with approval of the PUD Petition of Gilbert FTW for property located east of Ellis Avenue and south of Hollywood Avenue.

THE COMMON COUNCIL OF THE CITY OF BARABOO, WISCONSIN, DOES ORDAIN AS FOLLOWS:

1. Section 17.18(4)(d), Code of Ordinances, is amended as follows:

**17.18 ESTABLISHMENT OF DISTRICTS AND INCORPORATION OF ZONING DISTRICT MAP**

**(4) DISTRICT BOUNDARIES AND MAP AMENDMENTS.**

- (d) Planned Unit Developments. The following Planned Unit Developments are approved and incorporated into the zoning map. 2008-01.
2. The attached General Development Plan/Specific Implementation Plan is approved as Planned Unit Development 2008-01, and the Mayor and City Clerk are authorized to enter into the Agreement on behalf of the City of Baraboo.
3. This Ordinance shall take effect upon passage and publication as provided by law.

Mayor's Approval: \_\_\_\_\_

Clerk's Certification: \_\_\_\_\_

I hereby certify that the foregoing Ordinance was duly passed by the Common Council of the City of Baraboo on the \_\_\_\_ day of \_\_\_\_\_, 2008, and is recorded on page \_\_\_\_ of volume 37.

City Clerk: \_\_\_\_\_

**GENERAL DEVELOPMENT PLAN / SPECIFIC IMPLEMENTATION PLAN  
FOR GILBERT FTW, CITY OF BARABOO, SAUK COUNTY, WISCONSIN,  
TO BE ZONED AS A PLANNED UNIT DEVELOPMENT**

Jerry Gilbert, Gilbert FTW, owner of the property to be rezoned as a planned unit development (PUD) under the City of Baraboo's Zoning Code, and consisting of the property located east of Ellis Avenue, west of a southerly projection of Vine Street, south of Hollywood Street, and more particularly described as set forth on Exhibit A hereto, hereby submits the following General Development Plan for approval pursuant to §17.36B(7), of the Baraboo Code of Ordinances:

1. The real property involved in this General Development Plan (GDP) consists of that property located east of Ellis Avenue, west of a southerly projection of Vine Street, south of Hollywood Street, in the City of Baraboo, Sauk County, Wisconsin, and more particularly described on Exhibit A hereto. The lot size of the parcel is approximately 4.36 acres. The legal description of the property is as set forth on Exhibit A.
2. The property is presently zoned R-3 One through Four Family Residential District. The specific intention of Gilbert FTW, is to use the property for a 54-unit luxury apartment complex featuring a mixture of one- and two-bedroom units with secured underground parking.
3. The City's comprehensive plan identifies the land use for this property as residential. Under the R-3 zoning classification, the allowable density is one unit per 3,500 square feet of land area, which could allow as many as 54 units on this 4.36 acre site. This development does not exceed this density.
4. The development shall be allowed a maximum of 54 units to be contained in a single building.
5. The proposed building shall comply with all setback requirements of the Baraboo Zoning Code.
6. The proposed principal building shall not shall not exceed a maximum lot coverage of seventeen (17%) percent.
7. The proposed building is limited to three stories above grade, and shall comply with the height requirements of the Baraboo Zoning Code.
8. The development shall have a maximum of one (1) sign, to be located near the northerly entrance to the development, and the sign shall comply with the requirements of §17.80, Sign Code, of the Baraboo Zoning Code.
9. The approved site plan and multi-family residential development plan on file in the office of the City Engineer are incorporated as terms of this GDP / SIP and will be enforceable as terms of the Plans.
10. Gilbert shall provide an easement for public road purposes to allow for a future extension of Vine Street along the easterly 66 feet of the parcel, and as more specifically set forth on an approved site plan.

11. This GDP is also accepted as the Specific Implementation Plan (SIP) for the property. All development of the property shall be in accordance with this GDP / SIP as approved by the City of Baraboo. Revisions to the GDP / SIP shall require the approval of the City's Common Council.
12. The concept plan is attached hereto as Exhibit B and incorporated into this GDP / SIP. The concept plan is for illustration purposes only, and does not constitute an approved site plan.
13. The terms of this Agreement, and the GDP / SIP shall be covenants running with the land, and applicable not only to Gilbert FTW, but to any and all subsequent owners as well.

CITY OF BARABOO

AUTHENTICATION

\_\_\_\_\_  
By: Patrick J. Liston, Mayor

Signatures of Patrick J. Liston and Cheryl M. Giese, authenticated this \_\_\_\_\_ day of February, 2008.

\_\_\_\_\_  
By: Cheryl M. Giese, City Clerk

\_\_\_\_\_  
Mark R. Reitz  
Title : State Bar of Wisconsin

GILBERT FTW

AUTHENTICATION

\_\_\_\_\_  
By:

Signatures of \_\_\_\_\_  
\_\_\_\_\_  
authenticated  
this \_\_\_\_\_ day of February, 2008.

\_\_\_\_\_  
By:

\_\_\_\_\_  
James I. Statz  
Title : State Bar of Wisconsin

Drafted by:  
Mark R. Reitz  
Baraboo City Attorney



## **EXHIBIT A**

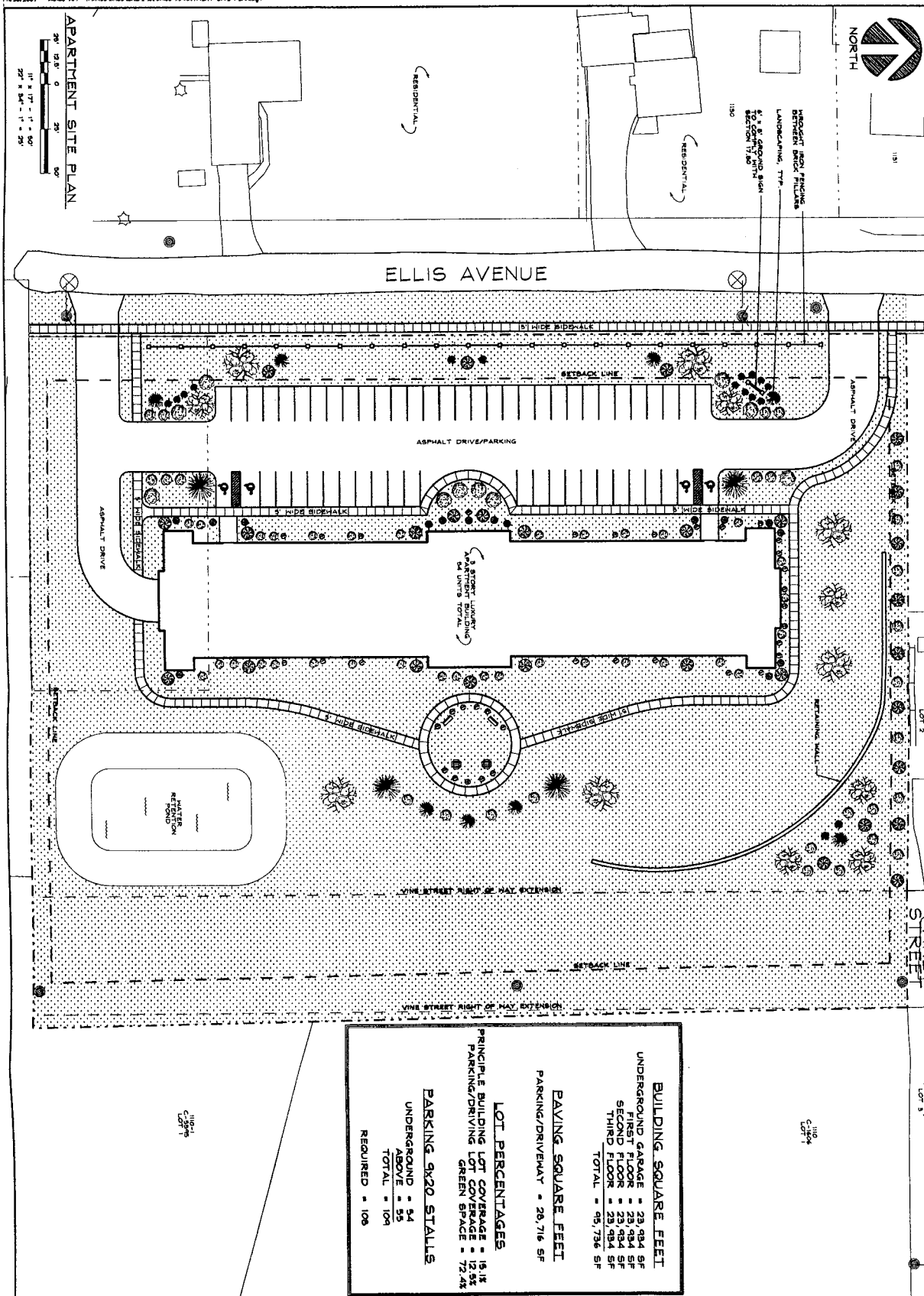
### **LEGAL DESCRIPTION OF PROPERTY**

Lots 1 and 2, of Certified Survey Map 1675, as recorded with the Register of Deeds for Sauk County, Wisconsin. (The same being located in the NE ¼ of the SE ¼ of Section 2, Town 11 North, Range 6 East, City of Baraboo, Sauk County, Wisconsin.)

**EXHIBIT B**

11/30/2007 9:13:50 AM I:\1400\1460\CROVP\1460 APARTMENT SITE PLAN.dgn

DRAWN BY: KJM CHECKED BY: JAK JOB NUMBER: 1146



STRATFORD PLACE  
BARABOO, WISCONSIN

TITLE  
APARTMENT SITE  
PLAN

**GILBERT F.T.W.**

JERRY GILBERT - OWNER  
3700 TERRA COURT SUITE 5  
SUN PRAIRIE, WI 53590  
ELLIS AVE. APARTMENTS  
CITY OF BARABOO  
SAUK COUNTY, WI

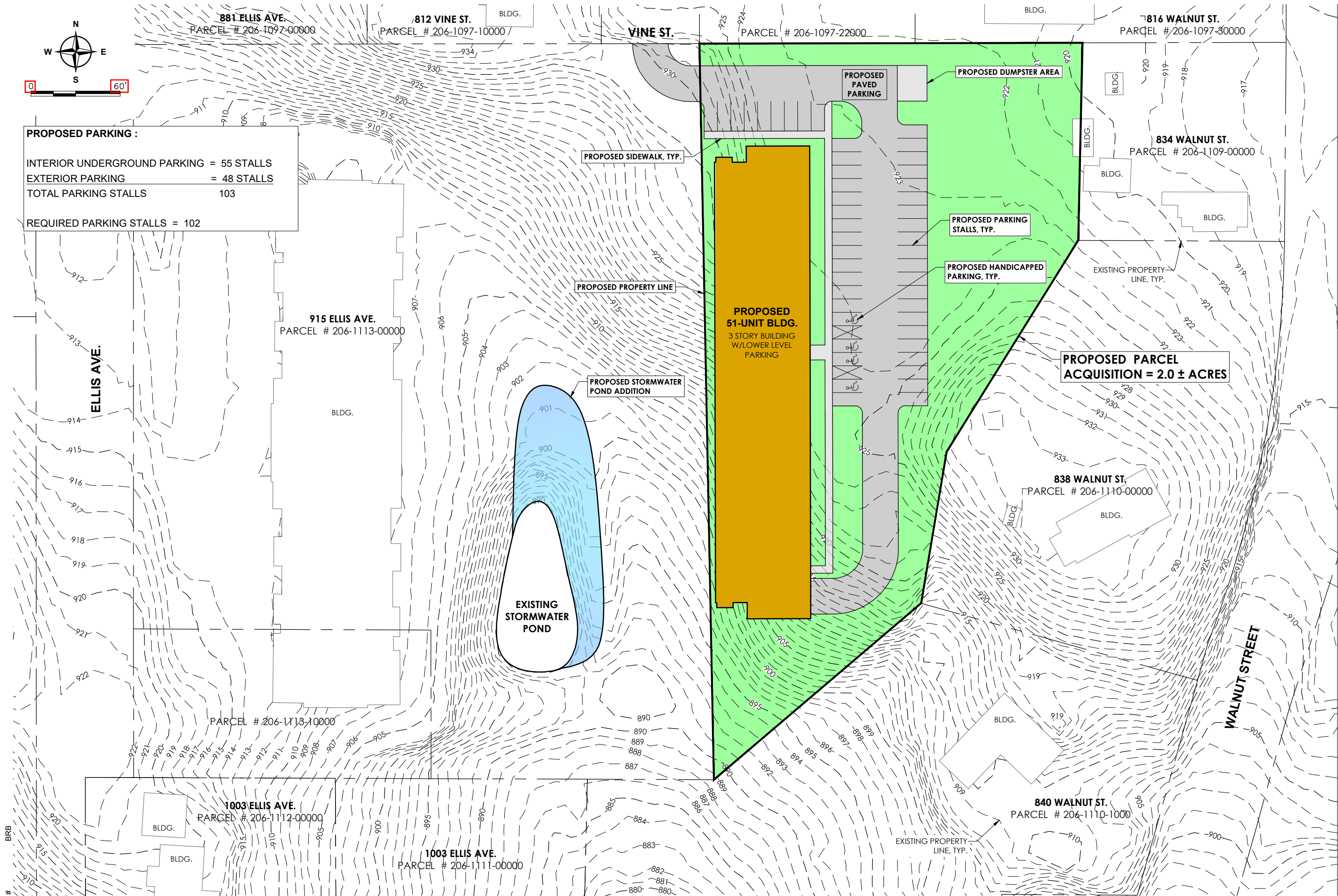


1120 Dallas Street, Sauk City, Wisconsin 53583  
Voice: 608-643-4100 Fax: 608-643-7999  
[www.rainmaker.com](http://www.rainmaker.com)

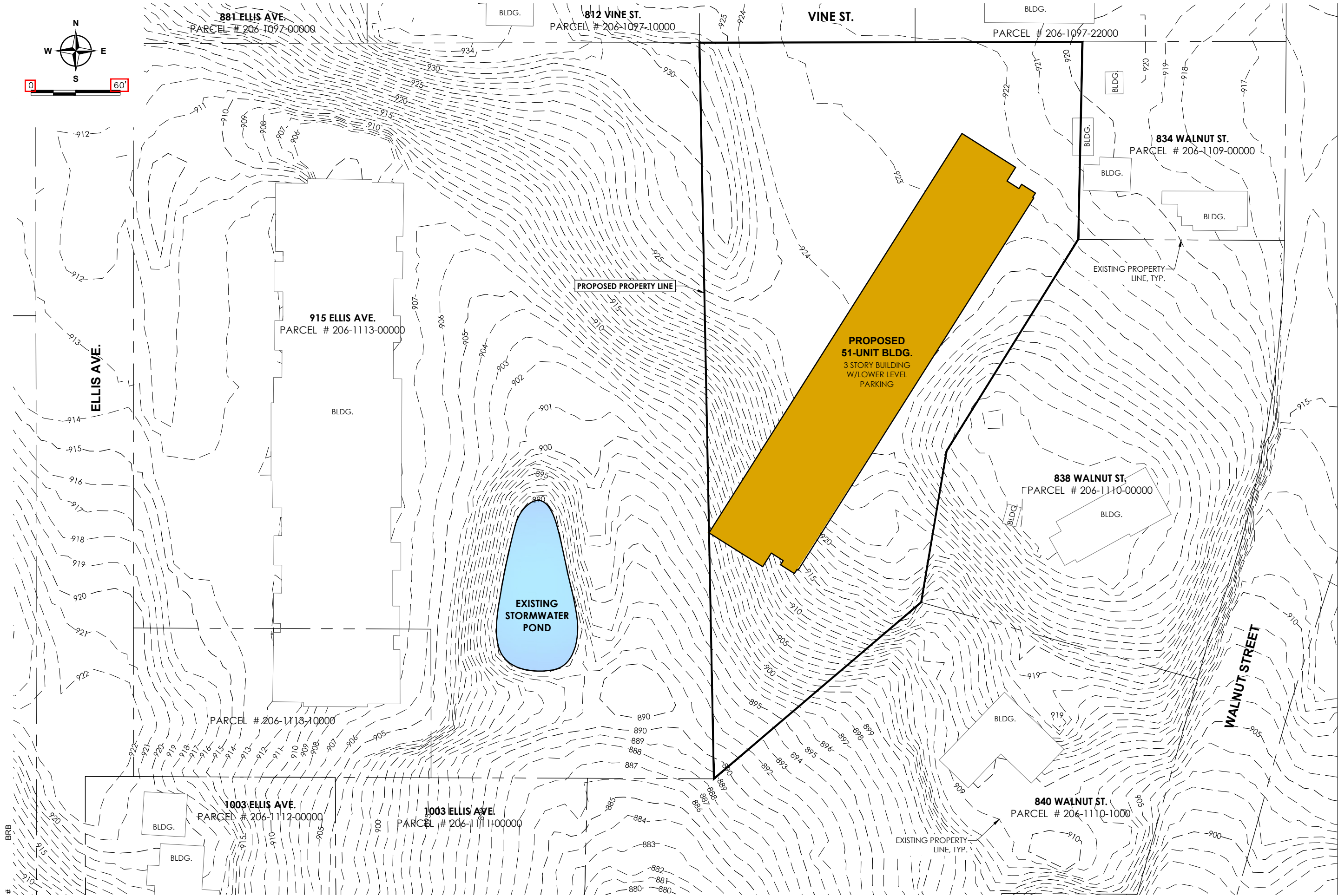
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CONCEPTUAL PLAN "A" FOR EXPANDING STRATFORD PLACE PUD



CONCEPTUAL PLAN "B" FOR EXPANDING STRATFORD PLACE PUD



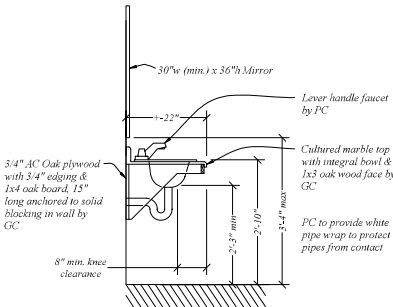


Conditionally  
**APPROVED**  
DEPT. OF SAFETY AND PROFESSIONAL  
SERVICES  
DIVISION OF INDUSTRY SERVICES

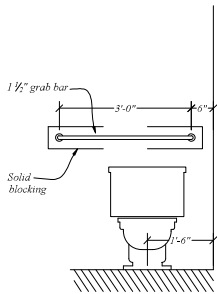
*ms*

SEE CORRESPONDENCE

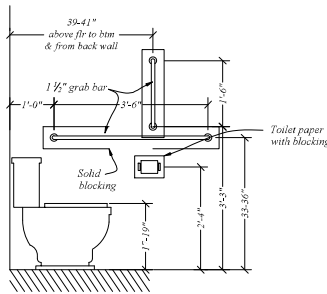
Transaction ID 3295269  
New plan  
Building  
4/14/20



Side  
Accessible Vanity Detail  
Scale: 1/2" = 1'-0"



Back Wall



Side Wall

Grab Bars at Accessible Water Closets

Scale: 1/2" = 1'-0"

**Building Design & 2015 IBC Code Compliance**

- Group R-2 - Permanent, Multi-Family Residential Occupancy
- 51 Unit Apartments Building, 17 units & 19,890 square feet per floor
- Type 5B - Combustible, Unprotected construction
- NFPA 13R fire sprinkler system @ 3 floors of residential, NFPA 13 @ parking garage
- 3 Stories of R-2 Residential over 1 Story of S-2 Low Hazard Parking Garage below grade with 2 hour horizontal fire separation per IBC 510.2
- Apartment mix: 9 - 1 Bedroom, 18 - 2 Bedroom, 1 Bath, 18 - 2 Bedroom, 1 1/2 Bath & 6 - 2 Bedroom, 2 Bath units
- All Apartments are Type B handicap accessible, two 2 Bedroom units are Type A handicap accessible
- Allowable Height per Table 504.3 = 60'
- Allowable Height per Table 504.4 = 3 Story
- Allowable Area per Table 506.2 = 7,000 sq. ft. + frontage increase. Building Frontage Increase = 7000 \* (700/764 - .25) \* 30.30 = 4,664 sq. ft. + 7,000 sq. ft. = 11,664 sq. ft. allowed

**Fire Resistive Construction**

- \* Per Table 601 - structural frame, interior & exterior bearing walls, floor and roof construction require 0 hour fire resistive rating.
- Apartment Separation & Corridor Walls - 1 Hour fire partition, GAWF5514, continuous floor to 1 Hour Ceiling Assembly, per IBC Section 420.2 & 709.3
- Horizontal Floor / Ceiling Assembly between Units, 1 Hour, APA 4.3A. Floor assembly to be drafted in line with all rated walls.
- Horizontal Floor / Ceiling Assembly between S-2 Garage (Type 2B construction) & R-2 Apartments (Type 5B construction), 2 Hour fire rated, precast concrete plank with 3" lightweight concrete topping per 510.2.

**Per 420.2 - Dwelling Unit Separation Fire Partition ratings required:**

- Common Walls between Units - 1 Hour fire partition, GAWF3370, continuous floor to 1 Hour Ceiling Assembly, per IBC Section 420.2 & 709.3
- Attic draftstopping at every 2 units and 1 Corridor wall allowed by Section 718.4.2 Exception 3. 1/2" drywall or OSB on one side of truss

**Structural Conditions:**

Seismic: Occupancy Category = II, Site Classification = D, Seismic Importance Factor = 1.0, Seismic Design Category = A

Snow: Ground Snow Load = 40 psf, Snow Importance Factor = 1.0, Sloped Roof Factor = 1.0, Roof Thermal Factor = 1.1

Wind: Terrain Category = C, Wind Speed = 115 mph, Partially Exposed Roof Factor = 1.0, Wind Importance Factor = 1.0

Roof Truss Dead Loads: 8 psf top chord & 10 psf bottom chord.

Residential Floor Loading: 40 psf Live Load (residential) + 13 psf dead load + 5 psf gypcrete dead load.

Corridor & Stair Floor Loading: 80 psf Live Load (residential) + 13 psf dead load + 5 psf gypcrete dead load.

Soil conditions = 4000 psf (per Braum Intertek Soil Boring Report)

**Insulation Values:**

- R-60, blown attic insulation with vapor barrier primer.
- R-21, fiberglass batt wall insulation with 4 mil poly vapor retarder or vapor barrier primer.
- Exterior Doors, Max. U = .32
- Weathershield or equal, slide-by Vinyl Windows, U = .32, SHGC = .35

**Accessibility:** In accordance with ANSI A117.1 - 2009.

- Unit (1) required to be Type "A" accessible, all other units to be Type "B" accessible.
- Type "A" unit

\* Grab bars and hand-held shower head installed in Shower.

\* Roll under vanity.

\* Toilet has 66" perpendicular to rear wall x 60" along side, clear floor space, therefore meets ANSI A117.1 1005.11.3 exception allowing the vanity to overlap the required floor area for the toilet. Grab bars at side and rear of toilet required to be installed.

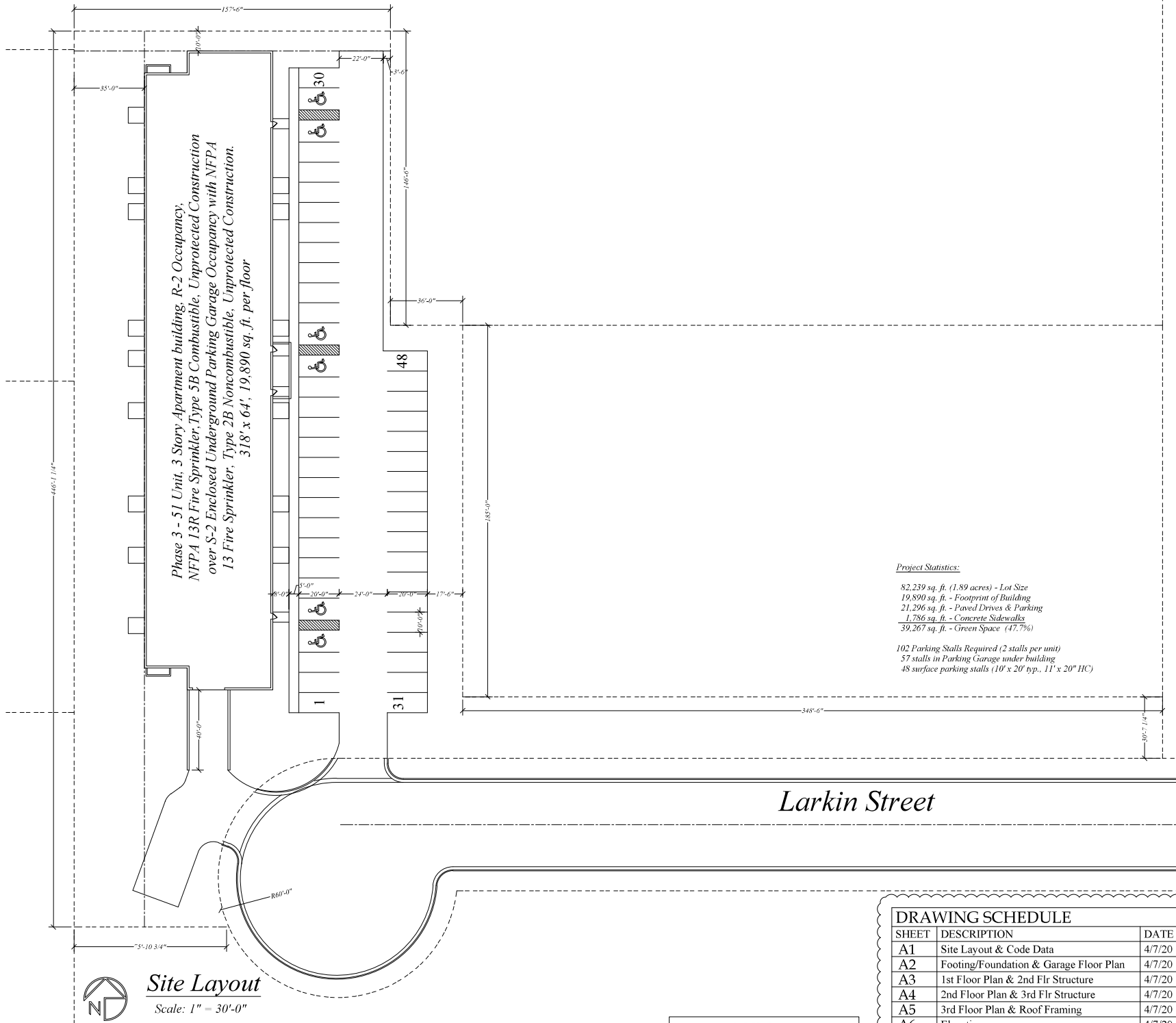
\* Switch for range hood and min. of 2 outlets will be mounted in the face of the base cabinet. Microwave in this apartments is to be countertop mounted in lieu of the over the range combination unit.

\* Kitchen sink will be in a 36" wide x 34" high countertop with no base cabinet to allow for a wheelchair forward approach.

\* Kitchen will include a 36" wide x 34" high countertop work area with no base cabinet to allow for a wheelchair forward approach.

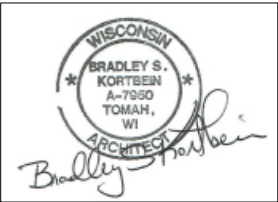
# West Veterans Apartments, Phase 3

## Tomah, Wisconsin



### Site Layout

Scale: 1" = 30'-0"



### DRAWING SCHEDULE

SHEET	DESCRIPTION	DATE
A1	Site Layout & Code Data	4/7/20
A2	Footing/Foundation & Garage Floor Plan	4/7/20
A3	1st Floor Plan & 2nd Flr Structure	4/7/20
A4	2nd Floor Plan & 3rd Flr Structure	4/7/20
A5	3rd Floor Plan & Roof Framing	4/7/20
A6	Elevations	4/7/20
A7	Building Sections "A", "B" & "C"	3/25/20
A8	Building Sections "D" & "E"	3/25/20
A9	Building Sections "F"	4/7/20
A10	Apartment Layouts & Door Schedule	3/20/20
A11	Apt Layouts, Schedules & Wall Types	3/25/20
A12	Structural Shear Wall Details	4/7/20
EH1	Apartment Layouts - Electric Heating	3/20/20
EH2	Apt & Common Area -Electric Heating	3/20/20

Cornerstone Architects, LLC

"Designing the Future"

PO Box 285 201 W. Veterans Street

Tomah, Wisconsin 54660

Phone 608-374-3500 Email bradkorten@gmail.com

Salem Development, LLC

West Veterans Apartments, Phase 3

Larkin Street, Tomah, WI 54660

Project:

Sheet Description

Site Layout & Code Data

By: bsk

Date: 3/25/20

Last Revision:

Revision Date: 4/7/20

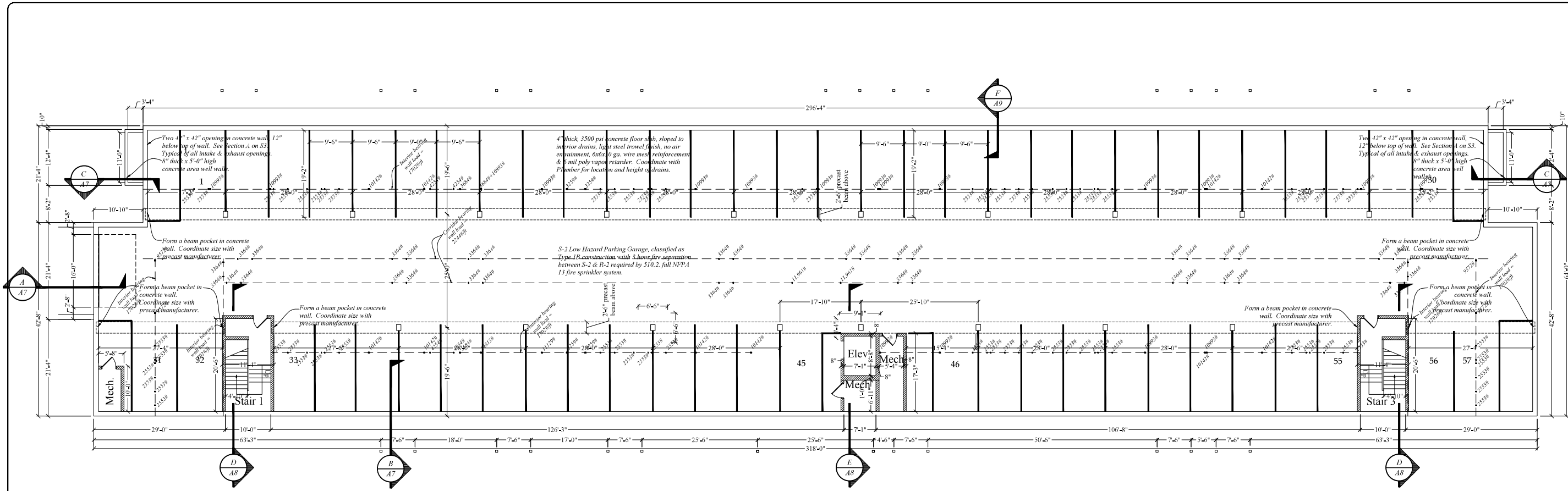
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File:

Revision:

Sheet No.

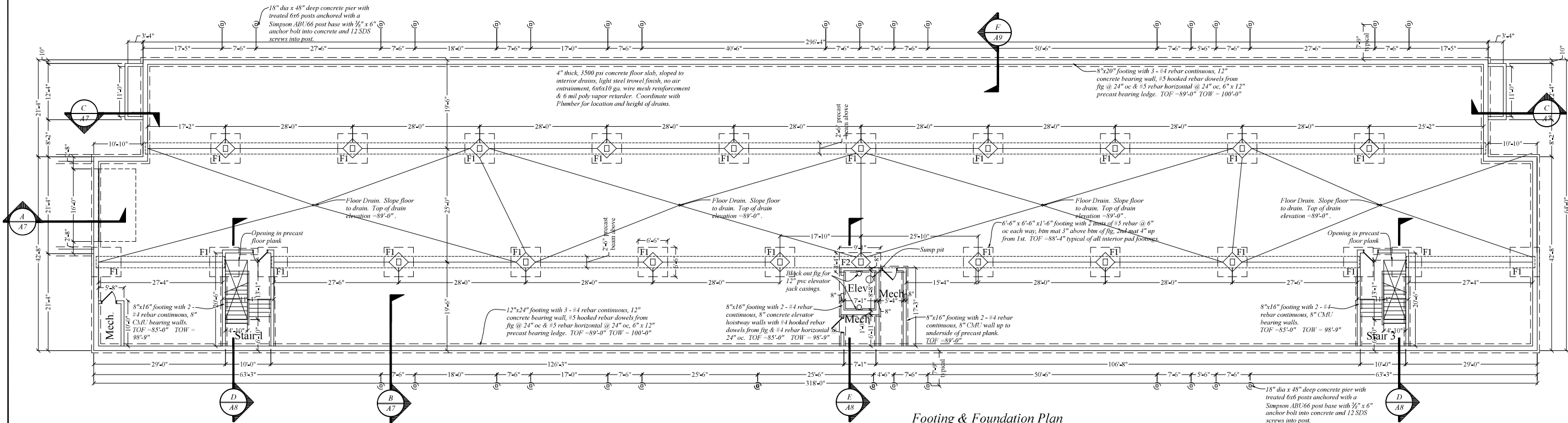
A1



Garage Floor Plan and 1st Floor Precast Loads

Scale: 3/32" = 1'-0"

F1 FOOTING SCHEDULE		
Designation	Description	Top of Footing
F1	6'-0" x 6'-0" x 1'-0" footing with 2 mats of #5 rebar @ 6" oc each way, btm mat 3" above btm of fig. 2nd mat 4" up from 1st.	88'-4"
F2	5'-1" x 4'-4" x 1'-0" footing with 2 mats of #5 rebar @ 6" oc each way, btm mat 3" above btm of fig. 2nd mat 4" up from 1st.	88'-4"



Footing & Foundation Plan

Scale: 3/32" = 1'-0"

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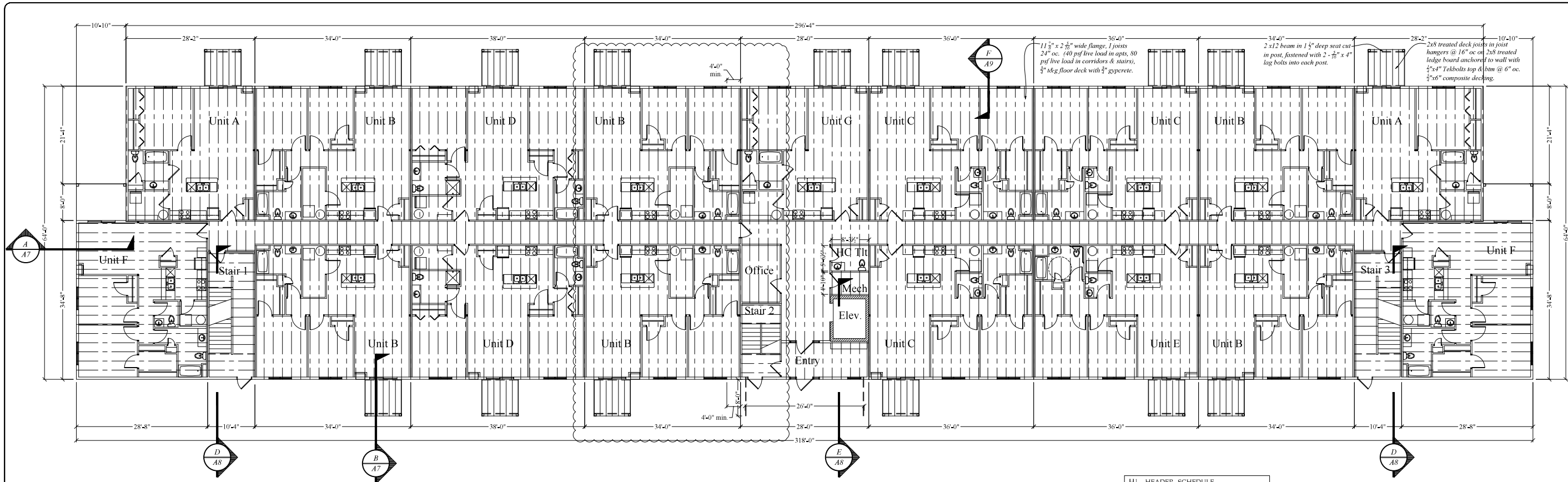
Salem Development, LLC  
West Veterans Apartments, Phase 3  
Larkin Street, Tomah, WI 54660

Sheet Description  
Fly/Fdn & Garage Floor Plan

By: hsk  
Date: 3/20/20  
Last Revision:  
Scale: As Noted  
File:  
Revision Date: 4/7/20

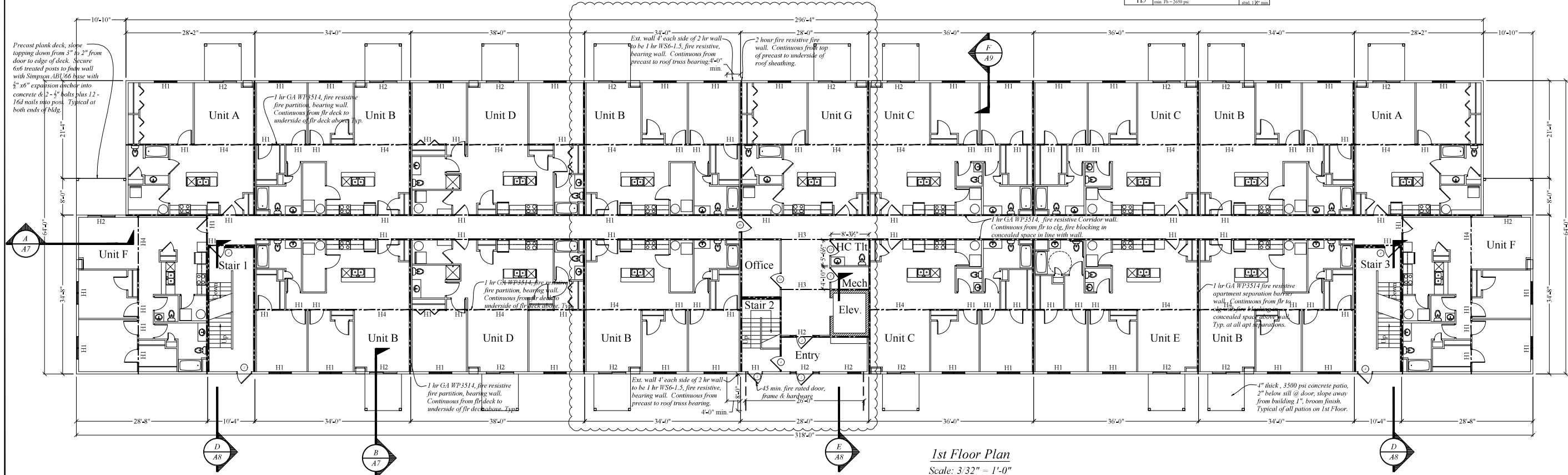
Sheet No.  
A2





2nd Floor Structure  
Scale: 3/32" = 1'-0"

H1 HEADER SCHEDULE		
Designation	Description	Noting Req'd
H1	1 ply 2x10, #2 SPP, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H2	2 ply 2x10, #2 SPP, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H3	2 ply 2x10, #2 SPP, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H4	1 ply 2x10, #2 SPP, header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H5	2 ply 11 1/4" 2.0E LVL, insulated, box header min. Fb = 2650 psi	1 ply shoulder stud, 1 1/2" min.
H6	2 ply 11 1/4" 2.0E LVL, insulated, box header min. Fb = 2650 psi	2 ply shoulder stud, 3" min.
H7	3 ply 11 1/4" 2.0E LVL, header, min. Fb = 2650 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	3 ply shoulder stud, 4 1/2" min.
H8	3 ply 14" 2.0E LVL, header, min. Fb = 2650 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	4 ply shoulder stud, 6" min.
H9	1 ply 11 1/4" 2.0E LVL, header min. Fb = 2650 psi	1 ply shoulder stud, 1 1/2" min.



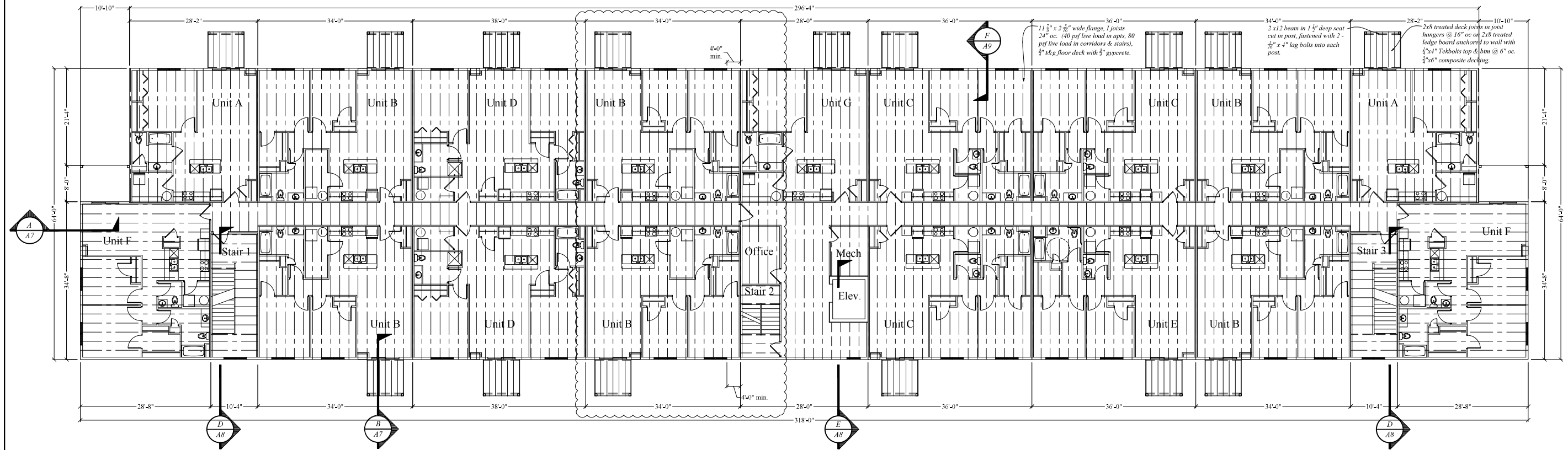
1st Floor Plan  
Scale: 3/32" = 1'-0"

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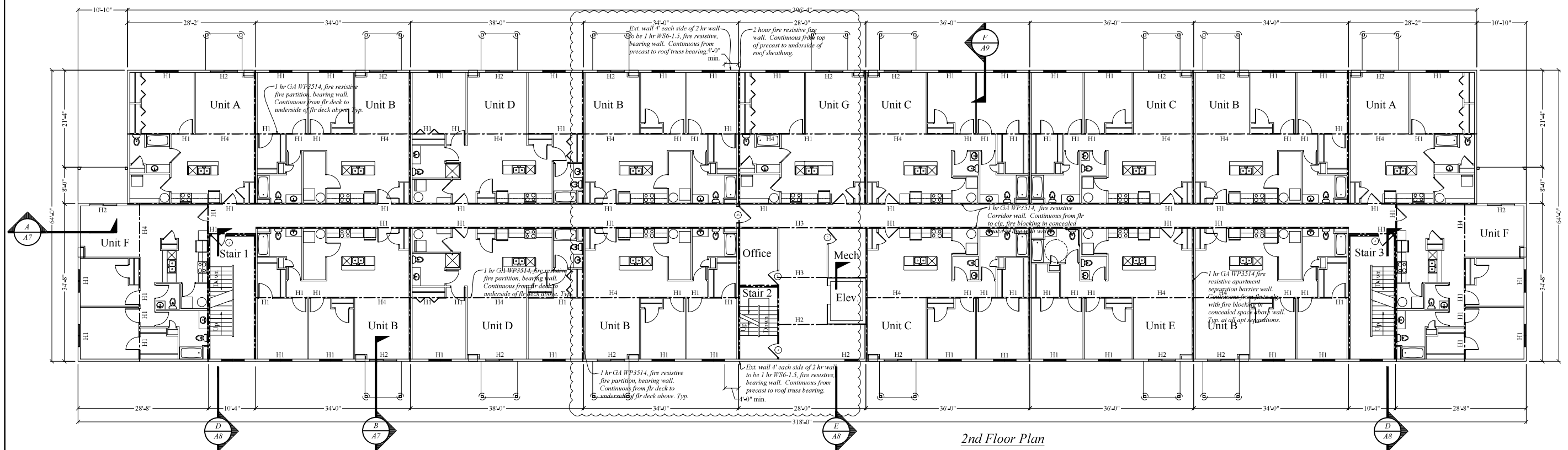
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1st Floor Plan & 2nd Flr Structure		West Veterans Apartments, Phase 3	
By: bsk	As Noted	Scale: 3/32" = 1'-0"	Revision Date: 4/7/20
Date: 3/20/20	File:	Revision: 1	Revision Date: 4/7/20
Last Revision:			

Sheet No. A3



3rd Floor Structure  
Scale: 3/32" = 1'-0"

Designation	Description	Beaming Ref. ID
H1	2 ply 2x6, #2 SPF, insulated, box header min. PB = 825 psi	1 ply shoulder stud, 1 1/2" min.
H2	2 ply 2x6, #2 SPF, insulated, box header min. PB = 825 psi	1 ply shoulder stud, 1 1/2" min.
H3	2 ply 2x10, #2 SPF, insulated, box header min. PB = 825 psi	1 ply shoulder stud, 1 1/2" min.
H4	2 ply 2x12, #2 SPF, header min. PB = 825 psi	1 ply shoulder stud, 1 1/2" min.
H5	2 ply 9 1/4" LVL, #1, insulated, box header min. PB = 2690 psi	1 ply shoulder stud, 1 1/2" min.
H6	2 ply 11 7/8" 2.0E LVL, insulated, box header min. PB = 2690 psi	2 ply shoulder stud, 2" min.
H7	3 ply 11 7/8" 2.0E LVL, header, min. PB = 2690 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	3 ply shoulder stud, 4 1/2" min.
H8	3 ply 14" 2.0E LVL, header, min. PB = 2690 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	4 ply shoulder stud, 6" min.
H9	1 ply 11 7/8" 2.0E LVL, header min. PB = 2690 psi	1 ply shoulder stud, 1 1/2" min.



2nd Floor Plan  
Scale: 3/32" = 1'-0"

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Project:

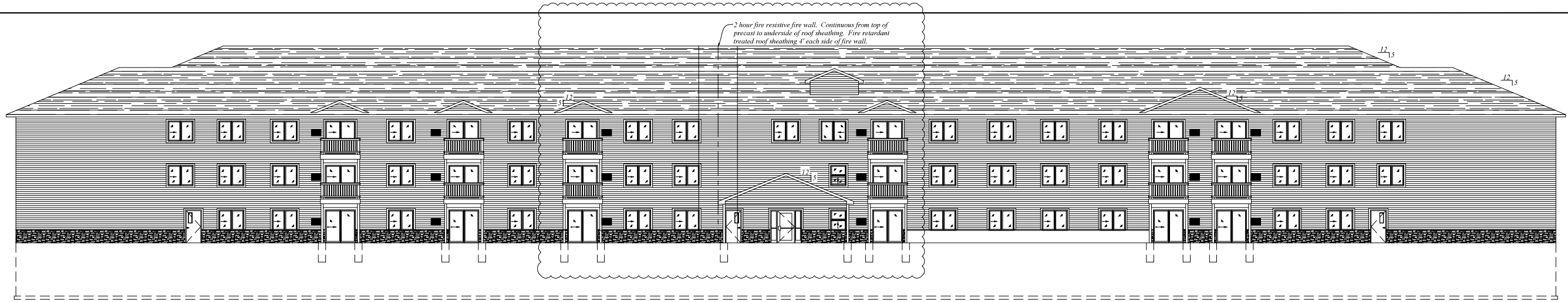
2nd Flr Plan & 3rd Flr Structure

Sheet No.

By:	AK	Scale:	As Noted
Date:	3/20/20	File:	
Last Revision:		Revision Date:	4/7/20

A4

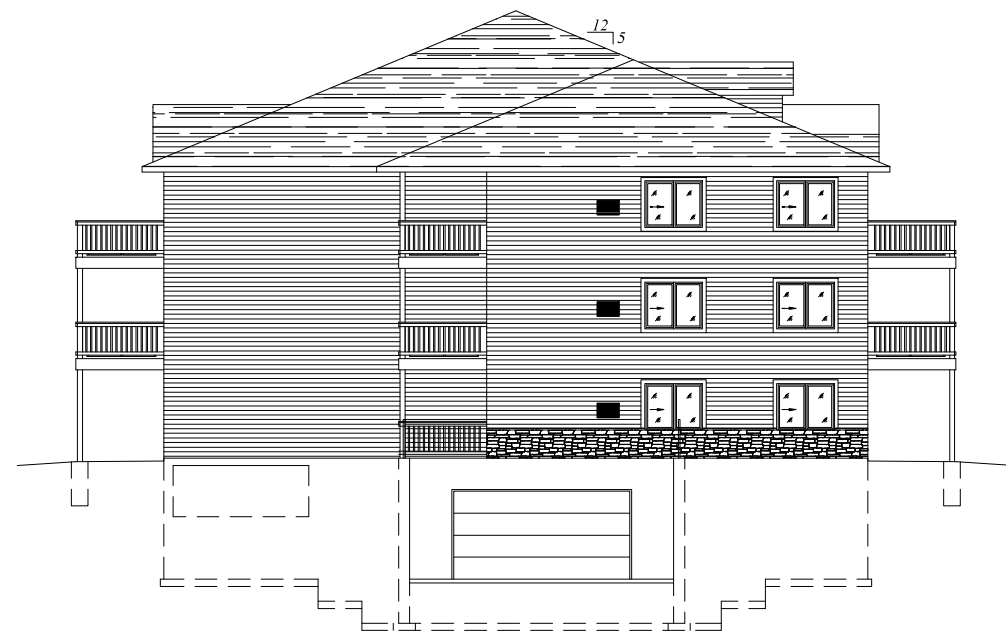




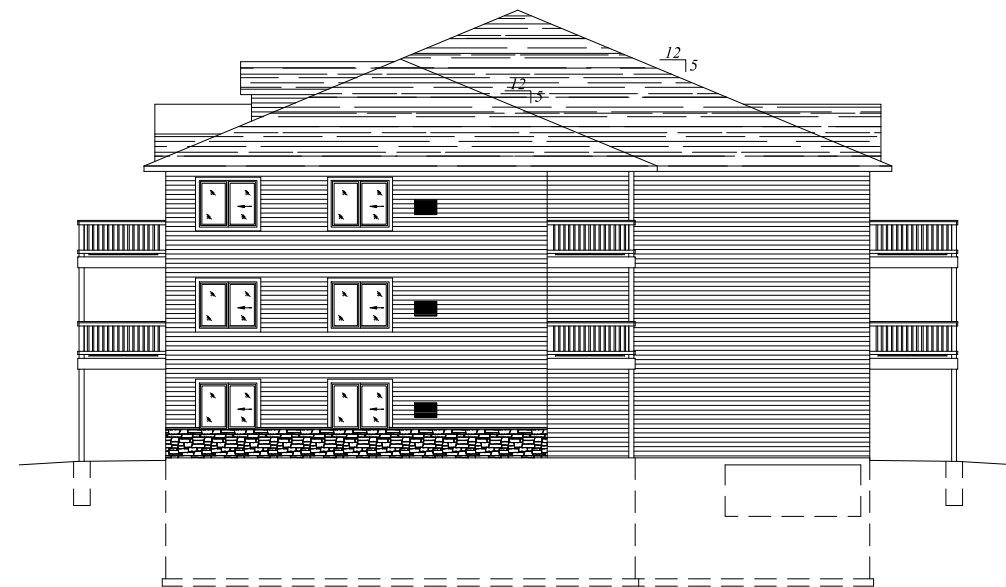
*Front (East) Elevation*  
Scale: 3/32" = 1'-0"



*Back (West) Elevation*  
Scale: 3/32" = 1'-0"



*South Elevation*  
Scale: 1/8" = 1'-0"



*North Elevation*  
Scale: 1/8" = 1'-0"

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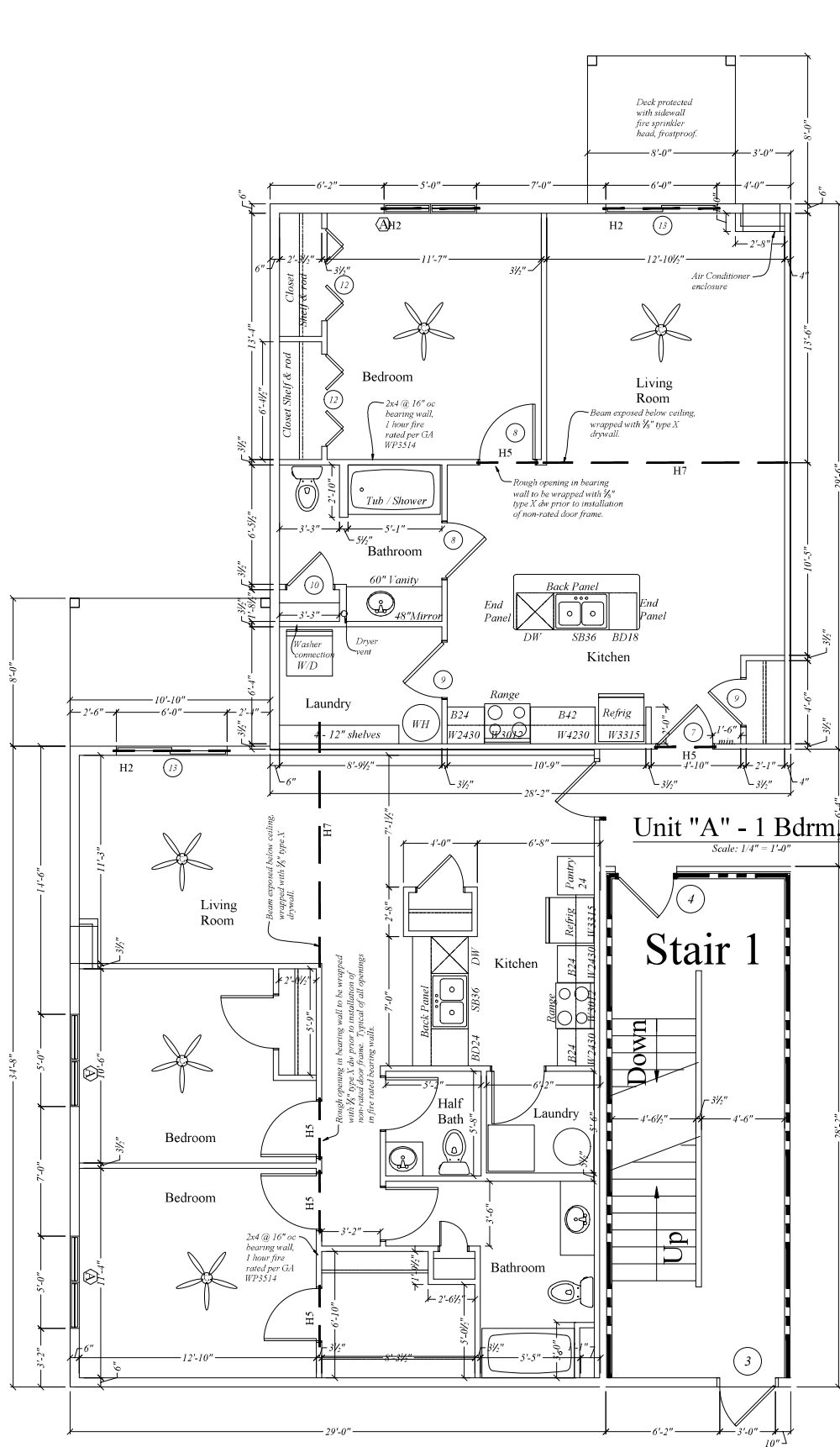
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Project:

By:	Date:	Scale:	File:	Revision:	Date:
hak	3/25/20	At Nord			4/7/20

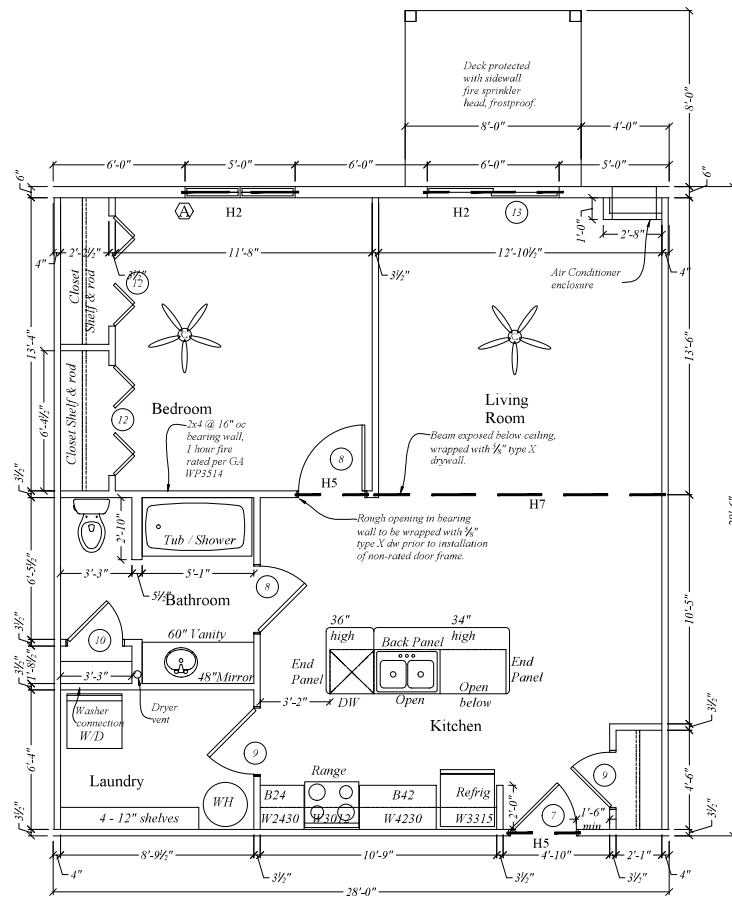
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A6



Unit "F" - 2 Bdrm, 1 1/2 Bath

Scale: 1/4" = 1'-0"



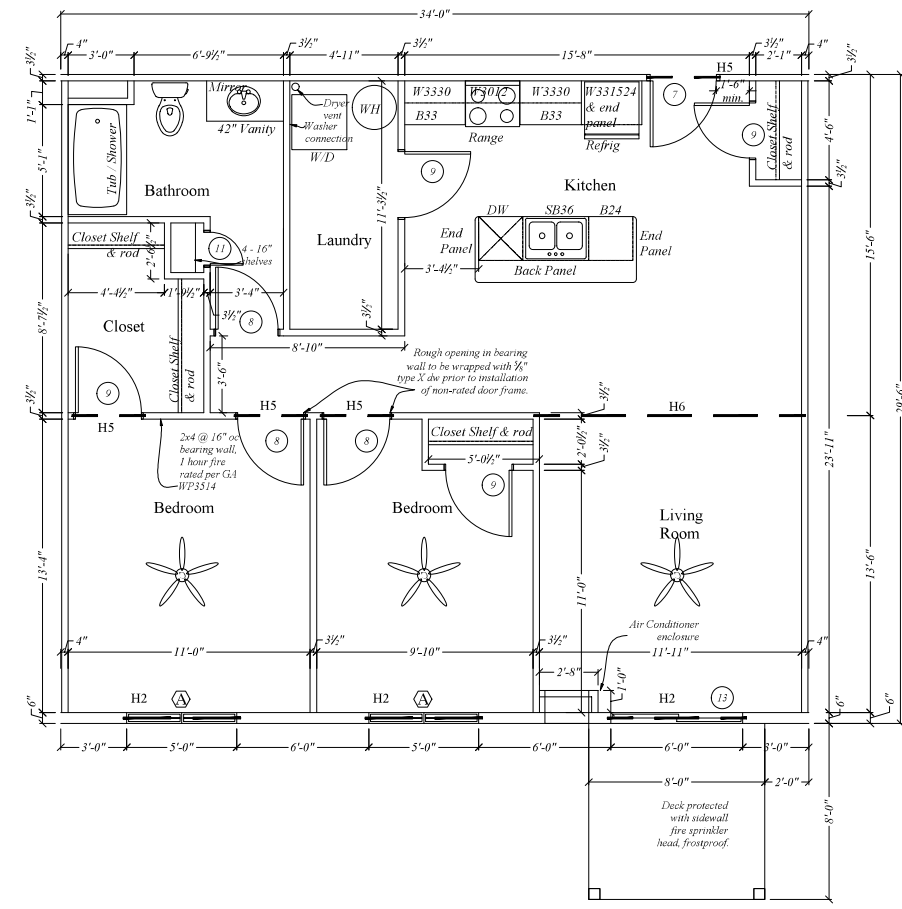
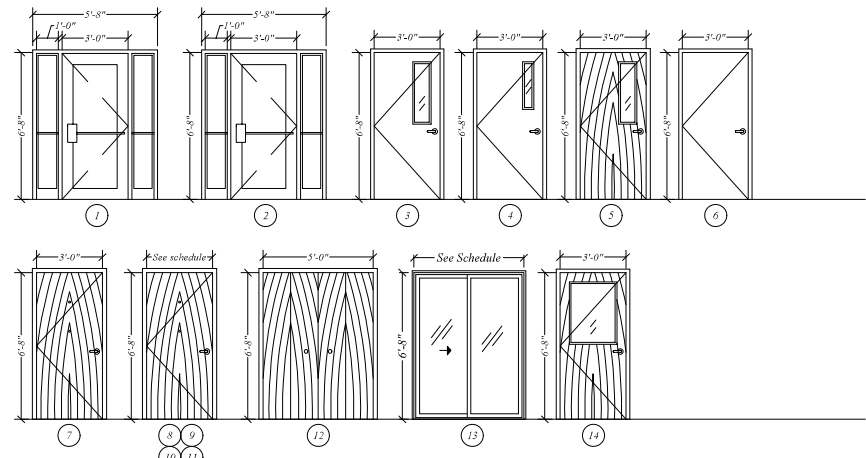
Unit "G" - 1 Bdrm, 1 Bath

Scale: 1/4" = 1'-0"

H1 HEADER SCHEDULE		
Designation	Description	Bearing Req'd
H1	2 ply 2x6, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H2	2 ply 2x8, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H3	2 ply 2x10, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H4	2 ply 2x12, #2 SPF, header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H5	2 ply 9 1/4" 1.8E LVL, insulated, box header min. Fb = 2650 psi	2 ply shoulder stud, 1 1/2" min.
H6	2 ply 11 7/8" 2.0E LVL, insulated, box header min. Fb = 2650 psi	2 ply shoulder stud, 3" min.
H7	3 ply 11 1/4" 2.0E LVL, header, min. Fb = 2850 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	3 ply shoulder stud, 4 1/2" min.
H8	3 ply 14" 2.0E LVL, header, min. Fb = 2850 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	4 ply shoulder stud, 6" min.
H9	1 ply 11 7/8" 2.0E LVL, header min. Fb = 2650 psi	1 ply shoulder stud, 1 1/2" min.

Door Schedule						
Door	Size	Door Description	Frame	Glazing	Hardware	Fire Rating
1	5'-8" x 7'-0"	Alum. Storefront Door, 42" wide dr with 2 sidelites, Ins. Low E, full glass	Alum.	DN, Low E, safety glazing	1	None
2	5'-8" x 7'-0"	Alum. Storefront Door, 42" wide dr with 2 sidelites, Ins. Low E, full glass	Alum.	DN, Low E, safety glazing	2	None
3	3'-0" x 6'-8"	Single, swing, flush, 18 ga. insulated steel door, painted	18 ga Steel	8" x 24" dbl. ins., Low E, safety	3	None
4, 4a, 4b	3'-0" x 6'-8"	Single, swing, flush, oak veneer, solid core, stained & varnished	18 ga Steel	4" x 24" firelite	4	A (90 min.), a - 18 ga steel door
5 & 5a	3'-0" x 6'-8"	Single, swing, flush, oak veneer, solid core, stained & varnished	Oak wood	a - 8" x 32" safety	5	None
6	3'-0" x 6'-8"	Single, swing, flush, 20 ga. steel door, painted	18 ga Steel		5	None
7	3'-0" x 6'-8"	Single, swing, flush, oak veneer, solid core, stained & varnished	Oak wood		6	C (20 min.)
8	3'-0" x 6'-8"	Single, swing, flush, oak veneer, hollow core, stained & varnished	Oak wood		7	None
9	3'-0" x 6'-8"	Single, swing, flush, oak veneer, hollow core, stained & varnished	Oak wood		8	None
10	2'-6" x 6'-8"	Single, swing, flush, oak veneer, hollow core, stained & varnished	Oak wood		8	None
11	1'-6" x 6'-8"	Single, swing, flush, oak veneer, hollow core, stained & varnished	Oak wood		8	None
12	5'-0" x 6'-8"	Double, bi-fold, flush, oak veneer, hollow core, stained & varnished	Oak wood		9	None
13	6'-0" x 7'-0"	Unit, sliding patio door	1 inyl	Double, Low E, Safety	-	None
14	3'-0" x 6'-8"	Single, swing, flush, oak veneer, hollow core, stained & varnished	Oak wood	24" x 32" safety	5	None

- Hardware Groups
- Aluminum storefront door with push / pull bars, handicap 34 push weight closer, handicap threshold and weatherstripping.
  - Aluminum storefront door with push / pull bars, handicap 34 push weight closer and electric strike with keypad entry security system.
  - 1 1/2 pair ball bearing hinges, Lever handle, Keyed Exit lockset (key operable only from outside, always operable from inside), bc threshold, bc 34 push weight closer and weatherstripping.
  - 1 1/2 pair ball bearing hinges, Lever handle, Passage lockset, handicap 34 push weight closer & weatherstripping, A (90 min.) fire label. Doors 4b include magnetic hold open devices.
  - 1 1/2 pair ball bearing hinges, Lever handle, Keyed Exit lockset (key operable only from outside, always operable from inside).
  - 1 1/2 pair self-closing spring, butt hinges, Lever handle, Keyed Exit lockset, wall bumper, smoke gasket, C (20 min.) fire label. Peep holes & 48" & 64".
  - 1 1/2 pair butt hinges, Lever handle, Privacy lockset, wall bumper.
  - 1 1/2 pair butt hinges, Lever handle, Passage lockset, wall bumper.
  - Bi-fold door hardware, track, stained wood or metal door pulls with stained and varnished wood to conceal track. Drywall wrapped openings.



Unit "B" - 2 Bdrm, 1 Bath

Scale: 1/4" = 1'-0"

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West Veterans Apartments, Phase 3

Larkin Street, Tomah, WI 54660

Project: Apartment Layouts & Door Schedule

By: hsk

Scale: As Noted

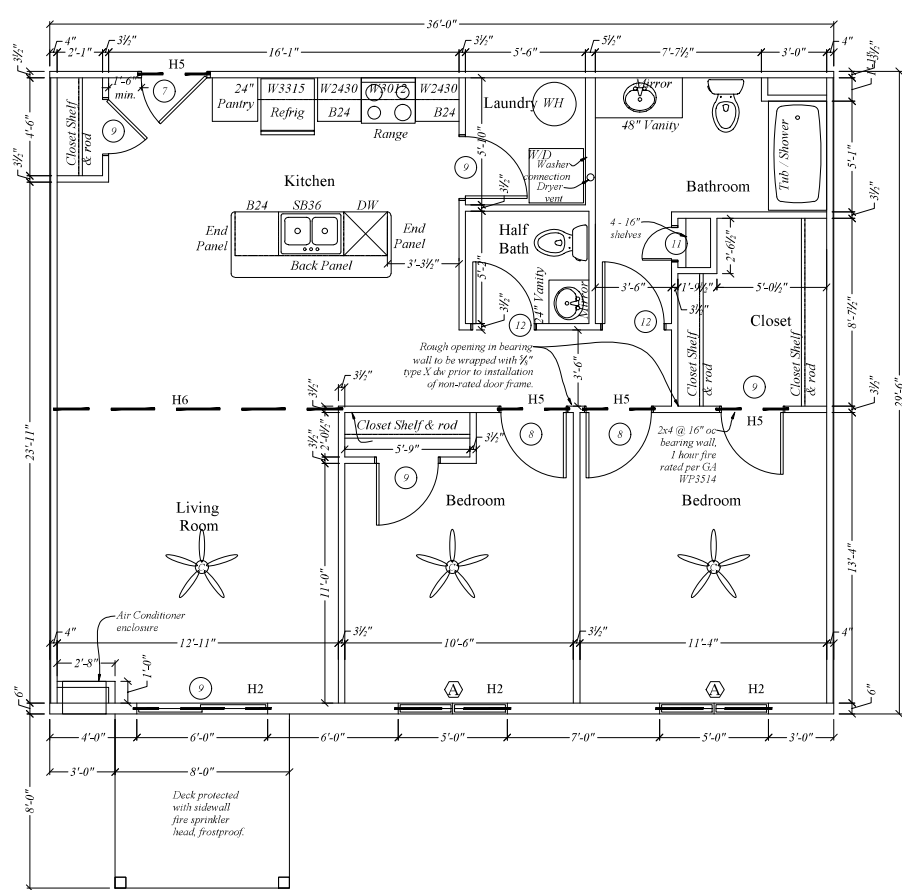
Date: 3/20/20

Last Revision: 1

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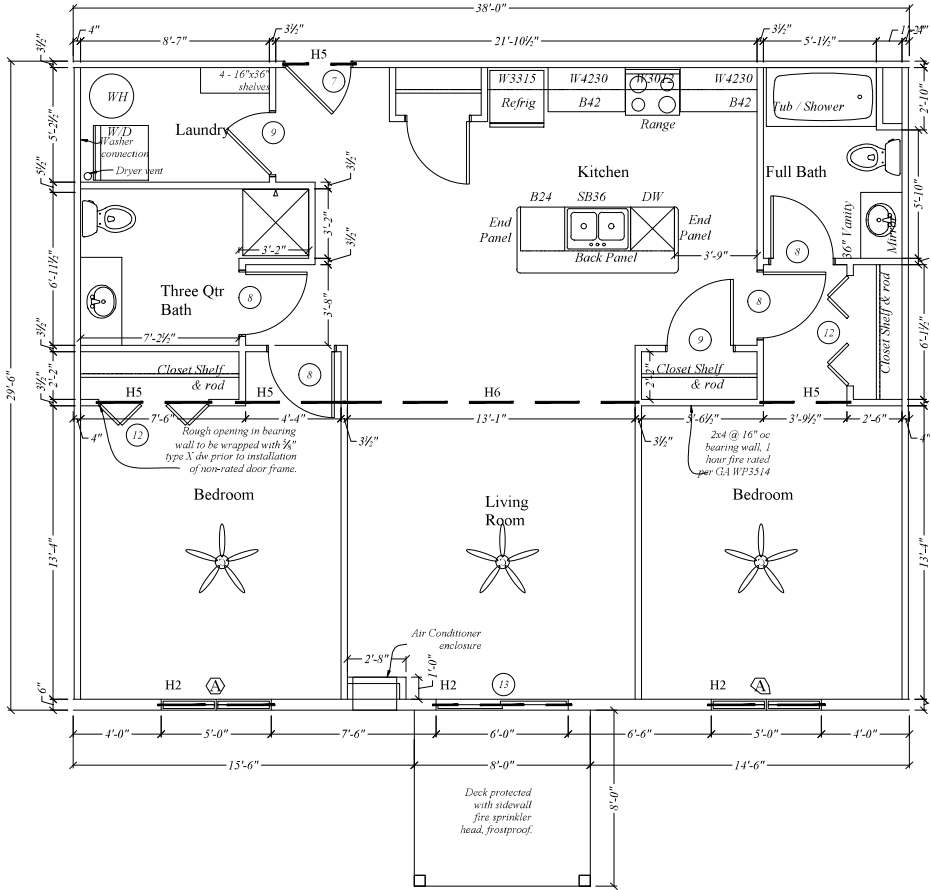
A10





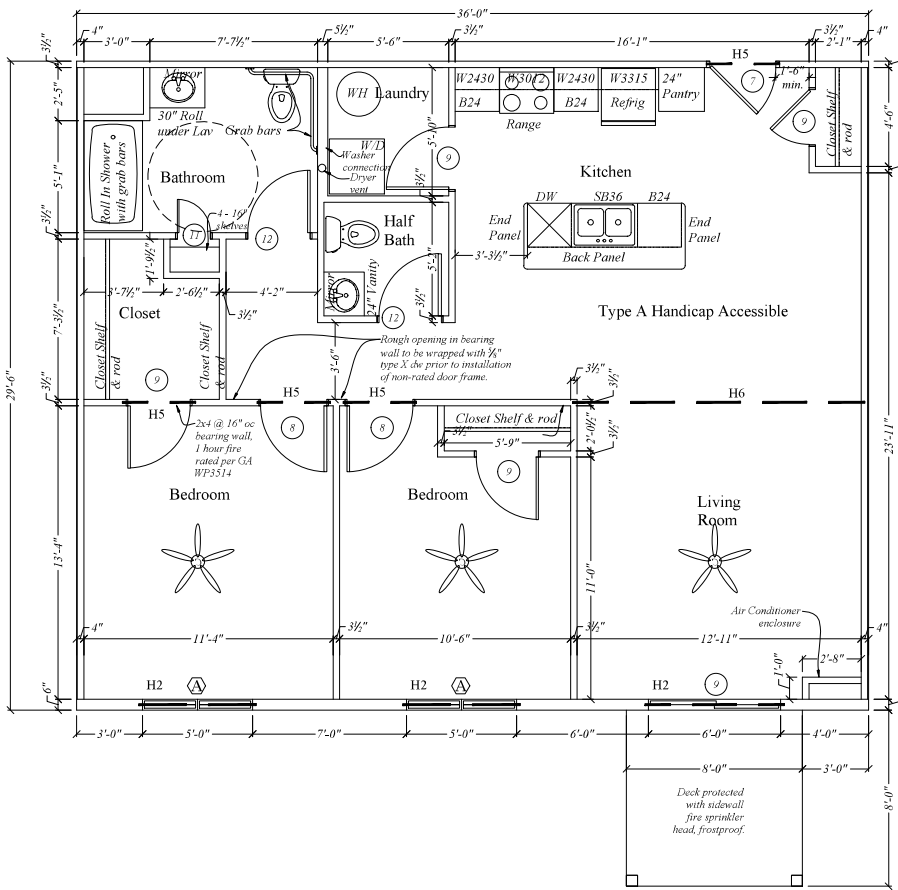
Unit "C" - 2 Bdrm, 1 1/2 Bath

Scale: 1/4" = 1'-0"



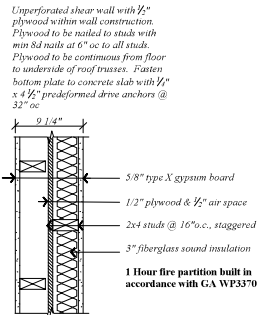
Unit "D" - 2 Bdrm, 1 3/4 Bath

Scale: 1/4" = 1'-0"

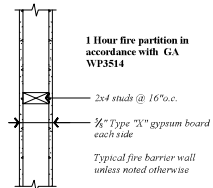


Unit "E" - 2 Bdrm, 1 1/2 Bath (Handicap)

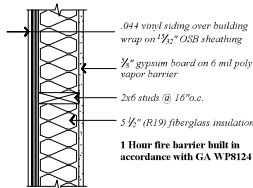
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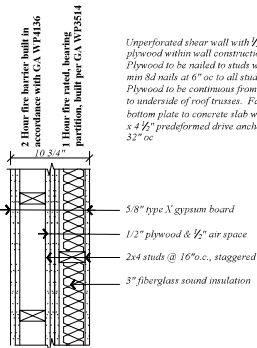
Apartment Separation wall  
1"=1'-0"



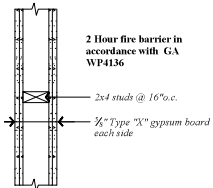
Corridor & Interior Bearing wall  
1"=1'-0"



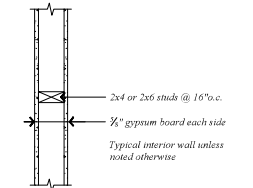
Exterior apt. wall  
1"=1'-0"



Stair Tower Separation walls  
1"=1'-0"



Corridor to Stair wall  
1"=1'-0"

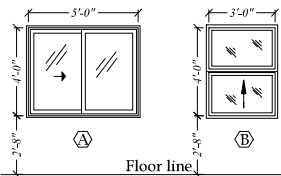


Interior wall partitions  
1"=1'-0"

H1 HEADER SCHEDULE		
Designation	Description	Bearing Req'd
H1	2 ply 2x6, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H2	2 ply 2x8, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H3	2 ply 2x10, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H4	2 ply 2x12, #2 SPF, header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H5	2 ply 9 1/4" 1 8E LVL, insulated, box header min. Fb = 2650 psi	1 ply shoulder stud, 1 1/2" min.
H6	2 ply 11 7/8" 2 0E LVL, insulated, box header min. Fb = 2650 psi	2 ply shoulder stud, 3" min.
H7	3 ply 11 1/4" 2 0E LVL, header, min. Fb = 2850 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	3 ply shoulder stud, 4 1/2" min.
H8	3 ply 14" 2 0E LVL, header, min. Fb = 2850 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	4 ply shoulder stud, 6" min.
H9	1 ply 11 7/8" 2 0E LVL, header min. Fb = 2650 psi	1 ply shoulder stud, 1 1/2" min.

Window Schedule			
Window	Size	Window Type	Remarks
A	3'-0" x 4'-0"	Vinyl Slide-By	Double, Low E, insulated glazing and screens
B	3'-0" x 4'-0"	Vinyl Single Hung	Double, Low E, insulated glazing and screens

Window Notes: Color to be White  
1. Interior of all windows to have drywall returns at jambs and head and cultured marble sills.  
2. Bedroom windows to have Roll Essentials, white, vinyl, 1" horizontal mini-blinds installed between jambs.  
3. Living Room windows to have Roll Essentials, white, vinyl, 2" vertical blinds installed outside of jambs, blinds to stack outside of window opening.



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Larkin Street, Tomah, WI 54660

Project:

Sheet Description  
Apartment Plans & Schedules

By: bak  
Date: 3/23/20  
Last Revision:

Scale: As Noted  
File:  
Revision Date:

Sheet No.

A11